



AGENDA

APOPKA CITY COUNCIL MEETING @ 1:30 PM City Hall Council Chamber 120 East Main Street – Apopka, Florida 32703 May 07, 2014

INVOCATION AND PLEDGE OF ALLEGIANCE

If you wish to appear before the City Council, please submit a Notice of Intent to Speak card to the City Clerk.

EMPLOYEE RECOGNITION

1. Elizabeth “Brittany” B. Berthold – Police/Support Services – Five Year Service Award
2. Vincent “Vince” P. Indiveri – Fire/Suppression – Five Year Service Award
3. Holly M. Roell – Police/Communications – Ten Year Service Award
4. John R. Longmire – Fire/EMS – Fifteen Year Service Award
5. Scott D. Machovina – Fire/Suppression – Fifteen Year Service Award
6. Andrew “Andy” J. Strausburg – Fire/EMS – Fifteen Year Service Award
7. Vincent “Vince” J. Tomljenovich – Fire/Suppression – Fifteen Year Service Award

PRESENTATIONS

CONSENT AGENDA

1. Approve the minutes of the regular City Council Meeting held on April 16, 2014 at 8:00 p.m.

2. Approve the application, from Extreme Limousine Inc., for a Vehicle for Hire Permit to operate a luxury taxi service in the City of Apopka.
3. Authorize the execution of an agreement between the Apopka Police Department and Harbor House of Central Florida to work cooperatively in order to protect the victims of domestic violence and improve prosecution.
4. Authorize the expenditure, in the amount of \$19,587.00, from the Federal Law Enforcement Trust Fund to purchase a Use of Force Simulator.
5. Authorize the expenditure, in the amount of \$30,394.03, for a railroad pedestrian gate and the extension of the rubber and asphalt crossway on Lakeville Road.
6. Approve the Disbursement Report for the month of April, 2014.

SPECIAL REPORTS AND PUBLIC HEARINGS

ORDINANCES AND RESOLUTIONS

1. ORDINANCE NO. 2359 – FIRST READING - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Jeffrey B. Randazzo, from “County” Rural (1 du/1 ac) to “City” Residential High (0-15 du/ac), for property located north of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Drive and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-078)
2. ORDINANCE NO. 2360 – FIRST READING - CHANGE OF ZONING – Jeffrey B. Randazzo, from “County” A-1 to “City” R-3, for property located north of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Drive and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-078)
3. ORDINANCE NO. 2361 – FIRST READING - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Robert Roach, from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac), for property located north of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-114)
4. ORDINANCE NO. 2362 – FIRST READING - CHANGE OF ZONING – Robert Roach, from “County” A-1 to “City” R-3, for property located north of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-114)
5. ORDINANCE NO. 2363 – FIRST READING - CHANGE OF ZONING – Debra L. Jones; Steven P. Gill; and Apopka Gilkey, LLC, c/o Jason Gilkey, from R-1AA (0-5 du/ac)(Residential) and Planning Unit Development (PUD/R-2) (0-5 du/ac)(Residential) to Planning Unit Development (PUD/R-2) (0-5 du/ac)(Residential), for properties located east of Plymouth Sorrento Road, south of Schopke Road. (Parcel ID #s 06-21-28-7172-15-090 & 06-21-28-7172-15-130)

- 6. RESOLUTION NO. 2014-03 - Amending Resolution No. 2005-12 by modifying the designated officials who are authorized with Regions Bank to sign checks, notes, drafts, bills of exchange, monies, acceptance, orders and other items of any kind, to make endorsements, to borrow money, and setting the method of notice of change in officials.
- 7. RESOLUTION NO. 2014-04 - Authorizing the reimbursement of certain costs relating to the acquisition of sanitation trucks and compressed natural gas (CNG) station capital improvements.

SITE APPROVALS

- 1. FINAL DEVELOPMENT PLAN - Poe Reserve Subdivision, owned by Nancy Poe, c/o Floriday Properties, Inc.; the engineer is June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff and Jimmy Dunn; and the property is located south of North Orange Blossom Trail, west of State Road 451. (Parcel ID Nos. 05-21-28-0000-00-030, 08-21-28-0000-00-026, 08-21-28-0000-00-027 & 08-21-28-0000-00-046)

DEPARTMENT REPORTS AND BIDS

MAYOR'S REPORT

OLD BUSINESS

- 1. COUNCIL
- 2. PUBLIC

NEW BUSINESS

- 1. COUNCIL
- 2. PUBLIC

ADJOURNMENT

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

1. Approve the minutes of the regular City Council Meeting held on April 16, 2014 at 8:00 p.m.

CITY OF APOPKA

Minutes of the regular City Council meeting held on April 16, 2014, at 8:00 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor John Land
Commissioner Bill Arrowsmith
Commissioner Billie Dean
Commissioner Marilyn U. McQueen
Commissioner Joe Kilsheimer

PRESS PRESENT: John Peery and Roger Ballas - The Apopka Chief
Steve Hudak – The Orlando Sentinel

INVOCATION AND PLEDGE OF ALLEGIANCE – The Invocation was given by Pastor Doug Bankson, Victory Church World Outreach Center. The Pledge of Allegiance was led by Commander Artie Vecchio of the VFW Post 10147.

Mayor Land announced anyone wishing to appear before the City Council, should submit a Notice of Intent to Speak card to the City Clerk.

PRESENTATIONS

1. Water Conservation Month Proclamation - Jean Jreij – The Proclamation was read by the City Clerk and presented by Mayor Land to Jean Jreij, Public Services Director.
2. National Telecommunicator's Week Proclamation - Donna Saladin – The Proclamation was read by the City Clerk and presented by Mayor Land to Donna Saladin, Director of Communications Center and fellow dispatchers.
3. CAFR Award - Edward Bass – Mayor Land read and presented a plaque to Director of Finance, Edward Bass, for a Certificate of Achievement for Excellence in Financial Reporting.

CONSENT AGENDA

1. Approve the minutes from the regular City Council meeting held on March 19, 2014, at 8:00 p.m.
2. Approve the minutes from the regular City Council meeting of April 2, 2014, at 1:30 p.m.
3. Approve the minutes of Administrative Bid Opening No. 2014-04 for One Custom Ambulance, held on March 28, 2014, at 10:15 a.m.
4. Approve the minutes of Administrative Bid Opening No. 2014-05 for Ocoee-Apopka Road Small Area Study, held on March 20, 2014, at 3:15 p.m.

5. Authorize the contract, in the amount of \$90,385.00, to Wheeled Coach Industries, Inc., for construction of a new ambulance.
6. Award the Geotechnical and Environmental Engineering Services contract to Ardman and Associates, Inc. and Universal Engineering Sciences, for one year with the option to extend the contract for two additional one-year extensions.
7. Approve the Disbursement Report for the month of March 2014.

MOTION was made by Commissioner Arrowsmith and seconded by Commissioner Dean, to approve the 7 items of the Consent Agenda. Motion carried unanimously, with Mayor Land, and Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

SPECIAL REPORTS AND PUBLIC HEARINGS

1. Run-off General and Special Election results from April 8, 2014 - Janice Goebel, City Clerk

City Clerk Goebel announced the results of the Run-off General and Special Elections held on April 8, 2014, as follows:

Mayor Race - Joe Kilsheimer received 3,352 votes; and John H. Land received 2,803 votes.

Seat 3 Race - Linda Ann Laurendeau received 2,846 votes; and Sam Ruth received 3,004 votes.

City Clerk Goebel said the Canvassing Board has submitted the certificate of Run-off General and Special Elections results to the City Council and requested they accept the certification of election results by the Canvassing Board, a copy of which is attached to these minutes.

MOTION was made by Commissioner Arrowsmith and seconded by Commissioner McQueen to accept the Certification of the Run-off General and Special Election results as presented. Motion carried unanimously, with Mayor Land, and Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

Commissioner Arrowsmith commended the Supervisor of Elections office for the work they did during the election at the precinct and the absentee ballots at their office.

ORDINANCES AND RESOLUTIONS

1. **ORDINANCE NO. 2358 - SECOND READING & ADOPTION - VACATE - Zachary J. and Jennifer K. Pollock, vacating a 50' x 2.5' utility easement located at 2433 Cerberus Drive, in Spring Ridge, Phase 4, Unit 3.**

Mayor Land said Ordinance No. 2358 meets the requirements for adoption, having been duly advertised in The Apopka Chief on April 4, 2014.

The City Clerk read the title, as follow:

ORDINANCE NO. 2358

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO VACATE
A PORTION OF A UTILITY EASEMENT LOCATED AT 2433**

**CERBERUS DRIVE; PROVIDING DIRECTIONS TO THE CITY CLERK,
FOR SEVERABILITY, FOR CONFLICTS, AND AN EFFECTIVE DATE.**

Mayor Land opened the meeting for a public hearing. No one wishing to speak, he closed the public hearing.

MOTION was made by Commissioner Kilsheimer, and seconded by Commissioner Dean, to adopt Ordinance No. 2358. Motion carried unanimously with Mayor Land, and Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

SITE APPROVALS - There were no site approvals for consideration.

DEPARTMENT REPORTS AND BIDS

1. Administrative Report - Richard D. Anderson - Chief Administrative Officer

CAO Anderson said the Council has his Administrative Report and he would answer any questions.

2. Establish the John Land Apopka Community Trust and authorize the transfer of \$200,000 from the City's General Fund into the Trust.

CAO Anderson discussed the establishment of a 501(c)3 Community Trust with an independent board of the city. He advised other cities that have these community trusts have a large amount of funds involved and are very successful.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner McQueen to approve the establishment of the John Land Apopka Community Trust as presented. Motion carried unanimously, with Mayor Land, and Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

CAO Anderson took the opportunity to thank and express his appreciation to Mayor Land for his lifelong service to the community and for what he has done for him personally and professionally. He thanked Mayor Land for all of his history lessons, not only at the beginning of each Council meeting, but he will also cherish the times they sat together and discussed various Apopka families, why they do certain things, and why our Commission meetings start at 8:00 p.m. He thanked Mayor for taking care of the employees, for the many things he did both professionally and personally for the community, for sharing his family and especially Betty Land. He thanked Mayor for his honesty, integrity, and perfect moral compass, and most of all for being Apopka proud and making us all Apopka proud. He wished Mayor continued health, happiness, and God's speed. He stated those who sacrificed the most were sitting in the front row and then presented Betty Land with a bouquet of roses.

Fire Chief Lee Bronson said it has been his honor and privilege to serve under Mayor Land for almost 40 years. He thanked Mayor Land and Commissioner McQueen for their support.

MAYOR'S REPORT - Mayor Land reported he will be retiring from the Lake Apopka Natural Gas District Board of Commissioners. Mayor Land reappointed Commissioner Arrowsmith to fill his vacant seat, and appointed Commissioner Dean to fill the seat vacated by Commissioner Arrowsmith.

MOTION by Commissioner McQueen and seconded by Commissioner Kilsheimer to accept the appointments to the Lake Apopka Natural Gas District Board of Commissioners. Motion carried unanimously with Mayor Land, Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

Mayor Land affirmed he would be nominating Mayor-elect Kilsheimer to the Wekiva River Water Basin Commission. The City Attorney will send a letter to the Governor regarding this nomination. The appointment comes from the Governor.

MOTION by Commissioner Arrowsmith, and seconded by Commissioner Dean that the City Council, by resolution, supports this nomination to the Wekiva River Water Basin Commission. Motion carried unanimously with Mayor Land, Commissioners Arrowsmith, Dean, McQueen, and Kilsheimer voting aye.

Mayor Land thanked and recognized Commissioner McQueen for her service to the City, noting that she was the third from the Ustler family to serve on Apopka's Council. He presented Commissioner McQueen with a bouquet of roses.

Mayor Land thanked Commissioner Dean for being very active in our community, serving as an agriculture teacher and for his years of service on the Council. He thanked Commissioner Arrowsmith for his 37 years in office, stating he was raised in Apopka, was a Blue Darter, and a businessman in the community.

Commissioner Arrowsmith said as Vice Mayor, serving under the dedication of Mayor Land, he has only been afforded the opportunity to preside over a few meetings. He affirmed it has been an honor to serve with Mayor Land and expressed his appreciation for the Mayor's leadership.

Mayor Land said Commissioner Kilsheimer, Mayor-elect, will soon take over the job of Mayor. He said they met and talked about the future of Apopka, agreeing the campaigns should be put in the past. He congratulated Mayor-elect Kilsheimer on his election.

Commissioner Kilsheimer thanked Mayor Land and said it was a tribute to him the level of professionalism the staff has shown over the last week, largely because of the tone Mayor Land has set and the examples of his leadership.

Mayor Land expressed appreciation for all of the City's employees. His advice to Mayor-elect Kilsheimer was to take care of the employees... "take care of the troops" and they would take care of him. He stated we have one of the best staffs any city could have. He charged the employees to "Keep up the good work".

Mayor Land thanked the citizens to Apopka for allowing him to serve so many years, decades. He declared it has been a great honor to serve the community and when he was first elected in 1950, he thought it was a call to service, and has always felt this way, making decisions in the best interest of the community. He hopes to be able to continue to be active and be a “Senior Statesman”.

City Attorney Kruppenbacher said Mayor Land has been the deacon of integrity and he has never been around an elected official that cared so much about his fellow citizens and thanked him for that inspiration. He stated Mayor-elect Kilsheimer summed it up; the future of this City is going to be great, it is going to be great because Mayor Land built the great foundation for it to grow upon.

Commissioner Dean said in 1969 when the Supreme Court ordered school integration, Roger Williams, Gary Hooper, and John Land came to Phyllis Wheatley High School to ask him to come teach agriculture and help ease racial tension at Apopka Memorial High School. He came as the Department Chairperson and they had no major racial issues and thanks to the help of Mayor Land, many students of all races have been successful. He declared that he and many other Apopkians will never forget what Mayor Land has done for Apopka and how he dedicated his life to the City. He called upon the City of Apopka to establish a City of Apopka Hall of Fame for people who have made a real difference for our beloved City and recommended Mayor John and Betty Land become the first two inductees. He stated with proper planning, this can become a great community event for years to come. Isadora Dean said she served as minority advocate for Apopka High School for many years and their goal was to send at risk students to Florida A & M. They did not have the funds for this and Mayor Land always donated toward sending these children to college. She said there were many stories of how Mayor Land personally helped young people and thanked him for all he did.

OLD BUSINESS

1. **COUNCIL** - There was no old business from the Council.
2. **PUBLIC** - There was no old business from the public.

NEW BUSINESS

1. **COUNCIL** - There was no new business from the Council.
2. **PUBLIC**

Pat McGuffin thanked Commissioner McQueen for her contribution and service for 18 years to the City commending her for an amazing job. He said Commissioner Dean has been amazing in many ways to our City. He said Commissioner Arrowsmith has been great for 37 years and he told Mayor-elect Kilsheimer that he looks forward to a new season. He thanked Mayor Land for his leadership stating he has led this City well, put together an amazing staff and brought foresight not just to Apopka, but to the whole region. He declared it has been an honor to grow up and serve in this community with the Mayor.

Bob Elmquist said he began working for the City in June of 1981. He stated he was only planning on staying with the City until he found something better. Now, almost 33 years later, he never did find the need to look anymore, as he found a home here. He thanked Mayor Land for making his employment here so fulfilling.

Cline Walters said he was a third generation native Apopkian and he congratulated Commissioner Kilsheimer, Ms. Velasquez, and Mr. Ruth for their recent elections. He thanked Mayor Land for his many achievements, one in particular in 1966 when the City of Apopka decided to provide ambulance service for all of Northwest Orange County. In the early 1970's the City's department became the 2nd in the county to acquire the "jaws of life" and under the direction of Mayor Land and then, Fire Chief Anderson, our EMS continued to grow and become the best in the county and one of the best in the country. He said as the new administration takes over and moves us forward, to remember how we got here and the community we are.

John Ricketson acknowledged the service Mayor Land and the Council has provided and said this campaign has pointed out a lot of what we already know, Apopka is one of the greatest communities in the country. He thanked Mayor for the friendship he has offered both personally and in business.

Pastor Tim Ford spoke of how, as a child, he helped his mother and Mayor Land hand out fliers regarding annexing South Apopka, which, unfortunately was declined. He said Mayor Land always had an open door policy and was a man of much wisdom. He stated looking to the present, he was glad to hear Mayor-elect Kilsheimer speak on the goodness of Mayor Land and all that he has contributed to this City. He challenged the future to build on the wisdom, integrity, and legacy of Mayor John Land and continue to make Apopka great.

VFW Commander Vecchio thanked Mayor Land for serving this wonderful City and thanked him for serving our country. He said Mayor has been a great help, a good friend, and thanked him for all he has done for the VFW.

Stuart Harris said he was in awe of what he has heard. He stated he has served with Mayor in Sertoma Club and he was simply amazed by Mayor Land's wisdom, eloquence, vocabulary, and memory that he has today.

Ashley Moore thanked Mayor for the ball fields built for the girls to play softball which not only gave a place to play, but a place to spend so much time with her dad and a place to make lifelong friends, as well as ability to earn a scholarship. She thanked him for a great place to work and spoke of how she loves hearing Mayor's stories of the past.

Chief Manley thanked Mayor Land for all he did for his Dad and wished he could be here to see this today. He told Mayor any time he needed to go somewhere, to just call as it is always a learning experience. He thanked Mayor for his 25 years of service.

Nicole Guillet said she currently is serving as the County Manager for Seminole County and prior to going to Seminole County she started here in Apopka and had the honor and privilege serving under Mayor Land for almost 20 years. She stated his influence is evident in every

decision she makes. She declared Mayor's legacy extends far beyond the boundaries of Apopka and expressed her gratitude for the impact he has had on her professional and personal life, stating how proud she is to call him her friend and mentor.

Jean Jreij thanked Mayor Land for all the years they have worked together, it has been a privilege and an honor to work with him over the past 27 years.

Mike Cooper said Mayor Land has been great to work with and without his support, Council's and staff support, they would not have been able to develop and do the things they have been able to accomplish.

Edward Bass thanked Mayor Land for having faith in him to make him the Finance Director in 2005. He said he considered Mayor as a friend, a teacher, and a mentor and he is a better person because of him. He declared he will carry these values everywhere he goes.

Pastor Doug Bankson, Victory Church World Outreach Center, presented Commissioner McQueen with a bouquet of roses and Mayor Land with a plaque. He gave the benediction.

Mayor Land invited people to stay and visit after the meeting. He said he would not say goodbye, just "until we meet again".

ADJOURNMENT - There being no further business to discuss, the meeting adjourned at 9:30 p.m.

Joe Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

Backup material for agenda item:

2. Approve the application, from Extreme Limousine Inc., for a Vehicle for Hire Permit to operate a luxury taxi service in the City of Apopka.



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: _____

MEETING OF: May 7, 2014
FROM: Administrative Services
EXHIBITS: _____

SUBJECT: VEHICLE FOR HIRE PERMIT

Request: AUTHORIZE ISSUANCE OF VEHICLE FOR HIRE PERMIT

SUMMARY:

Jeff Salka of Extreme Limousine Inc. is requesting approval to operate a Luxury Taxi Service in the City of Apopka. His application has been reviewed and approved by the Fire, Police and Community Development Departments. The applicant has provided proof of liability insurance, submitted to a background check, and signed a hold harmless agreement.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize issuance of Vehicle for Hire Permit to Jeff Salka of Extreme Limousine Inc.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners (4)	HR Director	Recreation Director
CAO Richard Anderson	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Backup material for agenda item:

3. Authorize the execution of an agreement between the Apopka Police Department and Harbor House of Central Florida to work cooperatively in order to protect the victims of domestic violence and improve prosecution.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: _____

MEETING OF: May 7, 2014
 FROM: Police Department
 EXHIBITS: Agreement

SUBJECT:

AGREEMENT BETWEEN HARBOR HOUSE OF CENTRAL FLORIDA AND THE APOPKA POLICE DEPARTMENT.

Request:

AUTHORIZE THE CITY TO EXECUTE AN AGREEMENT WITH HARBOR HOUSE OF CENTRAL FLORIDA TO WORK COOPERATIVELY, SHARE RESOURCES, AND SHARE INFORMATION IN ORDER TO PROTECT THE VICTIMS OF DOMESTIC VIOLENCE AND IMPROVE PROSECUTION.

SUMMARY:

Harbor House of Central Florida and Apopka Police Department have a history of successful collaborations. These entities have cooperated in the mission of saving lives that have been impacted by domestic violence. This agreement will allow the Harbor House to contribute a victim advocate to the department without cost to the city and, in turn, the city will provide the advocate staff support, meeting and work space, and the use of office technology during the length of the project.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Ratify the agreement and authorize staff to execute the agreement on behalf of the City.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director (2)
Commissioners (4)	HR Director	Recreation Director
CAO Richard Anderson	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Memorandum of Understanding

Early Victim Engagement Team (EVE)

MEMORANDUM OF UNDERSTANDING

Harbor House of Central Florida is the lead partner on the Early Victim Engagement Project (EVE). Harbor House of Central Florida is entering into a Memorandum of Understanding (MOU) with Apopka Police Department. Harbor House has been serving survivors of Domestic Violence for the Orange County area for over 35 years, with a strong mission to save lives. Harbor House services include Emergency services (shelter), Outreach, Children services, Legal Services, Prevention and Community Education.

Apopka Police Department is the Law Enforcement Agency for the City of Apopka, Florida. Apopka Police Department is community involved, and active in the pursuit of ending family violence as well as decreasing crime in Orange County Florida.

I. History of the Relationship

Harbor House of Central Florida and Apopka Police Department have a history of successful collaborations. In their various capacities, these entities have good communication as to the success of meeting the overall mission of saving lives. Apopka Police Department has met state standards as to the supplying to Harbor House of Central Florida all of the domestic violence police reports in a timely manner.

II. Roles, Responsibilities, and Commitments

Harbor House of Central Florida and Apopka Police Department will participate on the EVE project team and will:

- Work cooperatively with each other and other community agencies to achieve project goals, including enhancing domestic violence victim safety, increasing batterer accountability, and reducing domestic violence homicide in Orange County, Florida;
- Share information regarding potential and active EVE cases, to the extent allowed by law;
- Ensure all information released to community partners adheres to confidentiality, victim/advocate privilege and similar protocols addressing information sharing and cooperation in domestic violence prevention and investigation;
- Participate in conferences, bi-weekly, or as deemed necessary to ensure successful implementation of project activities and project sustainability;

- Participate in inter-agency problem-solving regarding all high lethality domestic violence cases;
- Review and refer high-risk lethality domestic violence cases to EVE and provide appropriate resources to assure the best possibility for achieving victim safety;
- Provide access to, or reports of, statistical information required for grant reporting;
- Participate in cross-training between the community partners; and in training on safety planning, lethality assessment, confidentiality and other relevant topics presented onsite by Harbor House.

III. Project Commitment

By signing this Memorandum of Understanding, the project partners acknowledge their commitment to achieving the stated goals of the project.

IV. Additional Resources

The major contributions of Apopka Police Department to the project are staff time, meeting/work space for the EVE advocate and use of technology during the length of the project. Contributions will be donated for use without a fee.

As indicated by my signature, I have read and agree with the Memorandum of Understanding.

Carol Wick, CEO **Date**
Harbor House of Central Florida

Robert Manley, Chief of Police **Date**
Apopka Police Department

Richard Anderson, CAO **Date**
City of Apopka

Backup material for agenda item:

4. Authorize the expenditure, in the amount of \$19,587.00, from the Federal Law Enforcement Trust Fund to purchase a Use of Force Simulator.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: _____

MEETING OF: May 7, 2014
 FROM: Police Department
 EXHIBITS: Request Memo

SUBJECT:

\$19,587.00 EXPENDITURE FROM LAW ENFORCEMENT TRUST FUNDS.

Request:

AUTHORIZE A \$19,587.00 EXPENDITURE FROM FEDERAL LAW ENFORCEMENT TRUST FUNDS TO PURCHASE AND INSTALL A USE OF FORCE SIMULATOR TO ENHANCE THE TRAINING OF APOPKA LAW ENFORCEMENT PERSONNEL.

SUMMARY:

The Police Department requests City Council approval for the expenditure of funds from the Federal Law Enforcement Trust Funds in the amount of **\$19,587.00** to match with grant funding in the amount of **\$12,613.00**. These funds will be used to purchase and install a “Use of Force” simulator to enhance the training of Apopka Police Officers in the amount of **\$32,200**. The simulator is on GSA contract # GS-02F-161AA.

FUNDING SOURCE:

Federal Law Enforcement Trust Fund	\$19,587.00
Edward Byrne Memorial Justice Assistance Grant # 2014-JAGC-ORAN-4-E5-193	\$12,613.00

RECOMMENDATION ACTION:

Authorize the Finance Department to disburse **\$19,587.00** from the Federal Law Enforcement Trust Fund and allow the department to purchase the simulator for **\$32,200.00**.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director (2)
Commissioners (4)	HR Director	Recreation Director
CAO Richard Anderson	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



City of Apopka
Police Department
112 E. 6th Street Apopka, Florida 32703

Memorandum

Date: May 7, 2014
To: Honorable Joe Kilsheimer and City Council Members
RE: EXPENDITURE FROM FEDERAL LAW ENFORCEMENT TRUST FUNDS

The Police Department requests City Council approval for the expenditure of funds from the Federal Law Enforcement Trust Funds in the amount of **\$19,587.00** to purchase and install a use of force simulator to enhance the training of law enforcement personnel.

ITEM 1: Use of Force Training System Cost: **\$19,587.00**

VENDOR: TI Training Corp
16050 Table Mountain Parkway #100
Golden, CO 80403

Total Expenditure: **\$19,587.00**

Respectfully,

Robert M. Manley
Chief of Police

Backup material for agenda item:

5. Authorize the expenditure, in the amount of \$30,394.03, for a railroad pedestrian gate and the extension of the rubber and asphalt crossway on Lakeville Road.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL HEARING
- OTHER:

MEETING OF: May 7, 2014
FROM: Public Services
EXHIBITS:

SUBJECT: LAKEVILLE ROAD RAILROAD PEDESTRIAN GATE AND EXTENSION OF THE RUBBER AND ASPHALT CROSSWAY

Request: AUTHORIZE THE EXPENSE OF \$30,394.03 FOR A RAILROAD PEDESTRIAN GATE AND EXTENSION OF THE RUBBER AND ASPHALT CROSSWAY ON LAKEVILLE ROAD.

SUMMARY:

Currently, the west side of the Lakeville Road sidewalk terminates on both the north and south side of the railroad crossing. In order to extend the sidewalk safely through the tracks, the Central Florida Railroad shall require the City to install a pedestrian gate on the south side of the railroad tracks at the crossing, extend the rubber, and asphalt pedestrian walkway, thus giving safe access for the two schools that are by this crossing.

The cost for the pedestrian gate is \$26,050.45, the cost for the rubber and asphalt crossing is \$4,343.58, for a total cost of \$30,394.03. The gate and crossing shall be installed by the Central Florida Railroad and paid for by the City

FUNDING SOURCE:

Traffic Impact Fee

RECOMMENDATION ACTION:

Authorize the expense of \$30,394.03 for a railroad pedestrian gate and extension of the rubber and asphalt crossway on Lakeville Road.

DISTRIBUTION:

Mayor
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir. (2)
City Clerk (4)
Fire Chief (1)

Backup material for agenda item:

6. Approve the Disbursement Report for the month of April, 2014.

CITY OF AOPKA
Disbursements Report

By Account Number, Paid 3/28/14 thru 4/28/14

Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
3/11/14	132987	118652		MANSFIELD OIL, CO.	160361	4/03/14	001-141.1200	27,739.93
3/21/14	133194	118795		MANSFIELD OIL, CO.	160596	4/17/14	001-141.1200	28,253.97
Subtotal for 001-141.1200								55,993.90
3/11/14	132988	118653		LAKE AOPKA NATURAL GAS DISTRICT	160589	4/17/14	001-141.1201	376.28
Subtotal for 001-141.1201								376.28
3/24/14	133232	118845		ASCENT AVIATION GROUP INC	160310	4/03/14	001-141.1203	36,256.33
4/10/14	133550	119073		ASCENT AVIATION GROUP INC	160542	4/17/14	001-141.1203	34,017.66
Subtotal for 001-141.1203								70,273.99
4/16/14	133688			U.S. POSTAL SERVICE/ACCT.36070175	160634	4/17/14	001-141.1300	2,000.00
Subtotal for 001-141.1300								2,000.00
3/19/14	133143	118761		BLUETARP FINANCIAL INC	160312	4/03/14	001-141.1400	45.27
2/03/14	132146	118065		MILLIKAN BATTERY & ELECTRIC	160471	4/10/14	001-141.1400	468.00
2/11/14	132343	118159		ORLANDO FREIGHTLINER, INC.	160483	4/10/14	001-141.1400	659.64
4/01/14	133351	118924		PRIDE ENTERPRISES	160487	4/10/14	001-141.1400	1,028.45
3/17/14	133079	118721		GRAINGER	160454	4/10/14	001-141.1400	209.80
3/05/14	132882	118581		TPH ACQUISITION LLLP	160512	4/10/14	001-141.1400	586.48
2/17/14	132477	118265		CARQUEST AUTO PARTS	160424	4/10/14	001-141.1400	132.32
3/25/14	133245	118857		FINGER LAKES CASTLE	160441	4/10/14	001-141.1400	400.60
3/05/14	132884	118583		WELDON PARTS-ORLANDO	160525	4/10/14	001-141.1400	676.31
4/07/14	133457	119004		TAMPA CRANE & BODY, INC.	160508	4/10/14	001-141.1400	163.62
4/07/14	133472	119024		PRIDE ENTERPRISES	160487	4/10/14	001-141.1400	373.60
4/04/14	133417	118994		CENTRAL FLORIDA TRUCK ACCESSORI	160552	4/17/14	001-141.1400	175.00
Subtotal for 001-141.1400								4,919.09
4/09/14	133516	119058		TRAVELERS	160630	4/17/14	001-155.0001	4,697.75
Subtotal for 001-155.0001								4,697.75
4/09/14	133513	119056		PREFERRED GOVERNMENTAL INS. TRU	160609	4/17/14	001-155.0002	4,777.21
Subtotal for 001-155.0002								4,777.21
4/09/14	133531			LINA	160466	4/10/14	001-155.0004	3,005.34
2/18/14	132506	118289		MILLIMAN	160472	4/10/14	001-155.0004	4,500.00
4/17/14	133712			SYMETRA LIFE INSURANCE	160625	4/17/14	001-155.0004	21,211.13
4/17/14	133730			HORIZON BEHAVIORAL SERVICES, LLC	160585	4/17/14	001-155.0004	2,162.12
4/04/14	133447	118997		EXPLAIN MY BENEFITS	160667	4/24/14	001-155.0004	2,886.00
Subtotal for 001-155.0004								33,764.59
4/09/14	133532	119064		PSS WORLD MEDICAL, INC.	160611	4/17/14	001-155.0006	704.23
4/17/14	133705			CENTURYLINK	160553	4/17/14	001-155.0006	335.47
4/09/14	133511	119055		CARE HERE	160549	4/17/14	001-155.0006	8,763.00
4/09/14	133521	119060		JANI- KING OF ORLANDO	160587	4/17/14	001-155.0006	186.00
Subtotal for 001-155.0006								9,988.70
4/16/14	133673			VALENCIA COLLEGE	160640	4/17/14	001-202.1110	600.00
4/18/14	133751			ROTARY CLUB OF AOPKA, FL. INC.	160648	4/18/14	001-202.1110	1,938.27
Subtotal for 001-202.1110								2,538.27
10/10/13	129837	116369		SUNDANCE ARCHITECTURAL PRODUCT	160682	4/24/14	001-205.0002	-9,390.00
Subtotal for 001-205.0002								-9,390.00
4/17/14	133712			SYMETRA LIFE INSURANCE	160625	4/17/14	001-218.1600	1,311.61
Subtotal for 001-218.1600								1,311.61
4/09/14	133531			LINA	160466	4/10/14	001-218.1610	5,412.61
Subtotal for 001-218.1610								5,412.61
4/09/14	133531			LINA	160466	4/10/14	001-218.1615	3,522.66
Subtotal for 001-218.1615								3,522.66
4/21/14	133763			ALLSTATE	160651	4/24/14	001-218.1620	17,407.67
Subtotal for 001-218.1620								17,407.67

CITY OF AOPKA
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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
4/03/14	133407			TRUSTMARK VOLUNTARY BENEFIT SOL	160400	4/03/14	001-218.1621	11,484.21
Subtotal for 001-218.1621								11,484.21
4/09/14	133526			YOURIDGUARD, INC.	160527	4/10/14	001-218.1622	1,069.00
Subtotal for 001-218.1622								1,069.00
4/09/14	133530			FLORIDA COMBINED LIFE	160445	4/10/14	001-218.1630	19,549.85
Subtotal for 001-218.1630								19,549.85
4/02/14	133396			UNITED WAY-HEART OF FLORIDA	160403	4/03/14	001-218.1650	42.50
Subtotal for 001-218.1650								42.50
4/02/14	133395			STEPHENS, MARTI	160396	4/03/14	001-218.1750	98.08
4/09/14	133515			STEPHENS, MARTI	160506	4/10/14	001-218.1750	98.08
4/17/14	133702			STEPHENS, MARTI	160623	4/17/14	001-218.1750	98.08
4/23/14	133820			STEPHENS, MARTI	160681	4/24/14	001-218.1750	98.08
Subtotal for 001-218.1750								392.32
4/02/14	133397			U.S. DEPARTMENT OF EDUCATION	160402	4/03/14	001-218.1760	137.37
4/09/14	133517			U.S. DEPARTMENT OF EDUCATION	160517	4/10/14	001-218.1760	201.74
4/17/14	133703			U.S. DEPARTMENT OF EDUCATION	160633	4/17/14	001-218.1760	151.23
4/23/14	133819			U.S. DEPARTMENT OF EDUCATION	160685	4/24/14	001-218.1760	137.37
Subtotal for 001-218.1760								627.71
4/02/14	133359			RODRIGUEZ, JUAN AND MARILYN	160385	4/03/14	001-220.0004	200.00
4/03/14	133405			JOHNSON, GENEVA	160352	4/03/14	001-220.0004	200.00
4/17/14	133707			IGLESIA HISPANA EL CAMINO LA VERDE	160586	4/17/14	001-220.0004	200.00
4/17/14	133708			LAINES, ELENA DAMIAN	160588	4/17/14	001-220.0004	200.00
4/17/14	133709			POPE, CANDRICE	160607	4/17/14	001-220.0004	200.00
4/17/14	133711			ESQUIA, JENNIFER	160568	4/17/14	001-220.0004	200.00
Subtotal for 001-220.0004								1,200.00
4/24/14	133830			MICHIGAN DEPARTMENT OF TREASURY	160671	4/24/14	001-229.1000	13.75
4/24/14	133831			UTAH STATE TREASURER'S OFFICE	160686	4/24/14	001-229.1000	10.00
4/24/14	133832			COLORADO DEPARTMENT OF TREASURY	160660	4/24/14	001-229.1000	13.75
Subtotal for 001-229.1000								37.50
4/02/14	133362			RAMESHAR, LEONARD	160380	4/03/14	001-341.9002	250.00
Subtotal for 001-341.9002								250.00
4/09/14	133528			BLUE CROSS BLUE SHIELD OF FLORIDA	160420	4/10/14	001-342.6000	408.73
4/09/14	133529			UNITEDHEALTHCARE MEDICARE SOLUTIONS	160518	4/10/14	001-342.6000	90.29
4/09/14	133527			BLUE CROSS BLUE SHIELD OF FLORIDA	160419	4/10/14	001-342.6000	349.20
Subtotal for 001-342.6000								848.22
4/02/14	133359			RODRIGUEZ, JUAN AND MARILYN	160385	4/03/14	001-347.2100	-20.00
4/17/14	133708			LAINES, ELENA DAMIAN	160588	4/17/14	001-347.2100	-20.00
4/17/14	133707			IGLESIA HISPANA EL CAMINO LA VERDE	160586	4/17/14	001-347.2100	-20.00
Subtotal for 001-347.2100								-60.00
4/23/14	133818			WILLIAMS, ALONZO	160688	4/24/14	001-1010-512.1200	237.50
Subtotal for 001-1010-512.1200								237.50
4/09/14	133533			KRUPPENBACHER, FRANK	160462	4/10/14	001-1010-512.3150	6,000.00
Subtotal for 001-1010-512.3150								6,000.00
4/10/14	133556			DEAN, BILLIE	160432	4/10/14	001-1010-512.4000	598.66
Subtotal for 001-1010-512.4000								598.66
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-1010-512.4100	39.22
Subtotal for 001-1010-512.4100								39.22
4/09/14	133544	119069		CAPITAL OFFICE PRODUCTS	160548	4/17/14	001-1010-512.5100	185.28
Subtotal for 001-1010-512.5100								185.28
4/01/14	133342	118917		100 BLACK MEN OF ORLANDO, INC.	160300	4/03/14	001-1010-512.5200	1,500.00
1/30/14	132092	118015		UNITED TROPHY MFG., INC.	160636	4/17/14	001-1010-512.5200	52.60

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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
4/22/14	133776			YOUNG, DIANNE	160649	4/22/14	001-1010-512.5200	500.00
4/11/14	133582	119105		HERMANN ENGELMANN GREENHOUSE	160689	4/24/14	001-1010-512.5200	240.00
4/22/14	133778	119254		VETERANS OF FOREIGN WARS OF THE	160687	4/24/14	001-1010-512.5200	1,500.00
4/22/14	133784	119259		PRINTERS, THE	160677	4/24/14	001-1010-512.5200	0.00
4/22/14	133786	119261		AOPKA CHRISTIAN MINISTERIAL ALLIA	160652	4/24/14	001-1010-512.5200	300.00
Subtotal for 001-1010-512.5200								4,092.60
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-1020-512.4600	1,195.50
Subtotal for 001-1020-512.4600								1,195.50
4/18/14	133752			AOPKA COMMUNITY TRUST INC	160647	4/18/14	001-1020-512.4900	200,000.00
Subtotal for 001-1020-512.4900								200,000.00
4/14/14	133609	119125		CAPITAL OFFICE PRODUCTS	160656	4/24/14	001-1020-512.5100	62.09
Subtotal for 001-1020-512.5100								62.09
4/16/14	133672			FIFTH THIRD BANK	160572	4/17/14	001-1020-512.5200	84.79
Subtotal for 001-1020-512.5200								84.79
4/09/14	133521	119060		JANI- KING OF ORLANDO	160587	4/17/14	001-1022-519.3400	2,868.00
Subtotal for 001-1022-519.3400								2,868.00
4/02/14	133360			CENTURYLINK	160319	4/03/14	001-1022-519.4100	35.00
4/24/14	133833			CENTURYLINK	160657	4/24/14	001-1022-519.4100	61.63
Subtotal for 001-1022-519.4100								96.63
4/03/14	133406			DUKE ENERGY	160333	4/03/14	001-1022-519.4300	660.10
4/10/14	133554			DUKE ENERGY	160437	4/10/14	001-1022-519.4300	7,470.07
4/10/14	133557			LAKE AOPKA NATURAL GAS DISTRICT	160464	4/10/14	001-1022-519.4300	851.51
4/17/14	133731			DUKE ENERGY	160567	4/17/14	001-1022-519.4300	1,005.99
4/23/14	133823			DUKE ENERGY	160665	4/24/14	001-1022-519.4300	261.31
Subtotal for 001-1022-519.4300								10,248.98
3/19/14	133151	118783		ALDAN ELECTRIC SUPPLY, INC.	160303	4/03/14	001-1022-519.4600	578.90
3/19/14	133144	118762		3 J's IRRIGATION	160301	4/03/14	001-1022-519.4600	1,300.00
3/31/14	133333	118906		SPRING HILL NURSERY, INC	160504	4/10/14	001-1022-519.4600	129.50
2/21/14	132612	118377		ODOM ELECTRICAL SERVICES INC.	160479	4/10/14	001-1022-519.4600	250.00
4/04/14	133428	118981		THYSSENKRUPP ELEVATOR	160510	4/10/14	001-1022-519.4600	461.84
3/25/14	133249	118861		GRAINGER	160454	4/10/14	001-1022-519.4600	236.67
4/07/14	133464	119017		MERCER PEST CONTROL, INC.	160470	4/10/14	001-1022-519.4600	1,301.62
4/10/14	133567	119092		POWER PRO-TECH SERVICES, INC.	160608	4/17/14	001-1022-519.4600	2,289.60
3/13/14	133031	118682		MAJOR MULCH INSTALLATIONS, INC.	160595	4/17/14	001-1022-519.4600	2,485.00
4/15/14	133662	119170		HEICHEL PLUMBING	160584	4/17/14	001-1022-519.4600	1,503.00
4/09/14	133519	119059		FERRAN SERVICES & CONTRACTING, IN	160570	4/17/14	001-1022-519.4600	143.00
4/04/14	133440	119011		3 J's IRRIGATION	160529	4/17/14	001-1022-519.4600	197.50
4/09/14	133547	119071		GUY WOODHAM JR.	160670	4/24/14	001-1022-519.4600	465.00
4/18/14	133741	119224		GUY WOODHAM JR.	160670	4/24/14	001-1022-519.4600	325.00
4/09/14	133509	119053		FREEDOM MECHANICAL INC.	160668	4/24/14	001-1022-519.4600	2,499.00
Subtotal for 001-1022-519.4600								14,165.63
4/02/14	133363			BRINGAS, LINDA	160314	4/03/14	001-1030-512.3400	275.00
4/02/14	133371			ISAACS, LYNNE	160349	4/03/14	001-1030-512.3400	185.00
4/02/14	133364			JOHNSON, CARRIE	160351	4/03/14	001-1030-512.3400	240.00
4/02/14	133365			MOYA, SALVADOR	160363	4/03/14	001-1030-512.3400	240.00
4/02/14	133366			BRINGAS, TOMAS	160315	4/03/14	001-1030-512.3400	160.00
4/02/14	133367			JANSZEN, MARY CLAIRE	160350	4/03/14	001-1030-512.3400	185.00
4/02/14	133368			SMITH, EUGENE	160391	4/03/14	001-1030-512.3400	185.00
4/02/14	133369			HARRIS, LULA	160346	4/03/14	001-1030-512.3400	185.00
4/02/14	133370			RODRIGUEZ, FRANCISCO	160384	4/03/14	001-1030-512.3400	185.00
4/02/14	133372			RODLUN, NANCY	160383	4/03/14	001-1030-512.3400	185.00

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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
4/02/14	133373			CANNON, SUSAN	160317	4/03/14	001-1030-512.3400	240.00
4/02/14	133374			HURLBURT, CAROLYN	160348	4/03/14	001-1030-512.3400	185.00
4/02/14	133375			BROWNE, VICKY	160316	4/03/14	001-1030-512.3400	185.00
4/02/14	133376			POLITE, MARZETTA	160377	4/03/14	001-1030-512.3400	185.00
Subtotal for 001-1030-512.3400								2,820.00
10/15/13	129975	116461		CROWN SHREDDING, LLC	160323	4/03/14	001-1030-512.4600	125.00
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-1030-512.4600	808.50
Subtotal for 001-1030-512.4600								933.50
4/04/14	133432	118985		H & M PRINTING, INC. DBA MAGNOLIA P	160456	4/10/14	001-1030-512.4700	3,885.00
Subtotal for 001-1030-512.4700								3,885.00
12/27/13	131450	117519		APOPKA CHIEF, THE	160307	4/03/14	001-1030-512.4902	249.75
4/04/14	133431	118984		APOPKA CHIEF, THE	160414	4/10/14	001-1030-512.4902	69.00
Subtotal for 001-1030-512.4902								318.75
11/20/13	130798	117051		OFFICE DEPOT, INC.	160370	4/03/14	001-1030-512.5100	225.81
11/20/13	130798	117051		OFFICE DEPOT, INC.	160481	4/10/14	001-1030-512.5100	132.96
Subtotal for 001-1030-512.5100								358.77
11/20/13	130798	117051		OFFICE DEPOT, INC.	160370	4/03/14	001-1030-512.5200	96.87
11/20/13	130798	117051		OFFICE DEPOT, INC.	160481	4/10/14	001-1030-512.5200	57.03
Subtotal for 001-1030-512.5200								153.90
1/09/14	131655	117689		SHUMACKER, JOHNSTON & ROSS,PA	160500	4/10/14	001-1120-513.3200	17,375.00
Subtotal for 001-1120-513.3200								17,375.00
4/02/14	133398	119009		FEDEX	160440	4/10/14	001-1120-513.4200	12.96
Subtotal for 001-1120-513.4200								12.96
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-1120-513.4600	1,943.25
Subtotal for 001-1120-513.4600								1,943.25
10/16/13	129992	116480		STAPLES ADVANTAGE	160505	4/10/14	001-1120-513.5100	94.20
Subtotal for 001-1120-513.5100								94.20
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-1170-513.4600	789.00
4/17/14	133732	119216		EMPOWER SOFTWARE SOLUTIONS, IN	160666	4/24/14	001-1170-513.4600	2,033.34
Subtotal for 001-1170-513.4600								2,822.34
3/28/14	133296	118890		STAPLES ADVANTAGE	160622	4/17/14	001-1170-513.5100	113.90
Subtotal for 001-1170-513.5100								113.90
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-2110-522.4100	108.21
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2110-522.4100	10.57
10/08/13	129750	116324		SWIFTREACH NETWORKS, INC.	160624	4/17/14	001-2110-522.4100	140.00
Subtotal for 001-2110-522.4100								258.78
4/03/14	133406			DUKE ENERGY	160333	4/03/14	001-2110-522.4300	1,019.78
4/10/14	133557			LAKE APOPKA NATURAL GAS DISTRICT	160464	4/10/14	001-2110-522.4300	94.45
4/10/14	133558			LAKE APOPKA NATURAL GAS DISTRICT	160464	4/10/14	001-2110-522.4300	22.34
4/17/14	133725			DUKE ENERGY	160567	4/17/14	001-2110-522.4300	6,636.51
Subtotal for 001-2110-522.4300								7,773.08
4/07/14	133475	119049		RICOH USA, INC.	160616	4/17/14	001-2110-522.4600	173.85
Subtotal for 001-2110-522.4600								173.85
3/19/14	133150	118765		OFFICE DEPOT	160369	4/03/14	001-2110-522.5100	118.35
3/19/14	133149	118764		CAPITAL OFFICE PRODUCTS	160422	4/10/14	001-2110-522.5100	64.80
4/04/14	133439	119007		OFFICE DEPOT, INC.	160674	4/24/14	001-2110-522.5100	213.63
Subtotal for 001-2110-522.5100								396.78
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-2120-522.4100	504.98
Subtotal for 001-2120-522.4100								504.98
3/24/14	133229	118854		LOWE'S	160359	4/03/14	001-2120-522.4600	397.14
4/02/14	133377	118944		CONSOLIDATED FLEET SERVICES	160430	4/10/14	001-2120-522.4600	2,376.00

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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
Subtotal for 001-2120-522.4600								2,773.14
2/17/14	132472	118261		TEN-8 FIRE EQUIPMENT INC.	160397	4/03/14	001-2120-522.4650	541.30
3/25/14	133253	118865		WELDON PARTS-ORLANDO	160406	4/03/14	001-2120-522.4650	76.75
2/03/14	132149	118068		GLENN JOINER & SON, INC.	160451	4/10/14	001-2120-522.4650	33.31
2/25/14	132659	118406		WHELEN ENGINEERING CO.,INC.	160526	4/10/14	001-2120-522.4650	185.00
3/06/14	132891	118590		ORLANDO FREIGHTLINER, INC.	160483	4/10/14	001-2120-522.4650	95.52
3/17/14	133084	118725		TESSCO INCORPORATED	160509	4/10/14	001-2120-522.4650	149.10
2/25/14	132666	118413		DON REID FORD	160561	4/17/14	001-2120-522.4650	36.03
2/25/14	132673	118420		CHARLIE W. LANEY	160554	4/17/14	001-2120-522.4650	1,435.00
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	001-2120-522.4650	404.38
4/08/14	133492	119040		UNITED PARCEL SERVICE	160635	4/17/14	001-2120-522.4650	3.94
4/17/14	133738	119222		CHARLIE W. LANEY	160658	4/24/14	001-2120-522.4650	170.00
Subtotal for 001-2120-522.4650								3,130.33
1/29/14	132039	118098		MUNICIPAL EQUIPMENT COMPANY	160365	4/03/14	001-2120-522.5200	147.00
1/27/14	131978	118164		STEPHENS INC.	160395	4/03/14	001-2120-522.5200	233.90
3/12/14	133014	118709		BRAVERY BADGE, LLC	160313	4/03/14	001-2120-522.5200	53.79
3/14/14	133075	118907		PUBLIX SUPER MARKETS, INC.	160379	4/03/14	001-2120-522.5200	121.79
3/20/14	133185	118788		AOPKA PLAQUE AND TROPHY	160308	4/03/14	001-2120-522.5200	92.50
4/02/14	133379	118962		W. S. DARLEY & COMPANY	160523	4/10/14	001-2120-522.5200	401.80
4/02/14	133381	118947		TRAPLINE WILDLIFE SERVICES, INC.	160514	4/10/14	001-2120-522.5200	250.00
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2120-522.5200	627.81
2/27/14	132761	118496		WALTER F.STEPHENS,JR.,INC.	160643	4/17/14	001-2120-522.5200	224.70
3/31/14	133318	119077		SPECIAL PRODUCTS GROUP	160679	4/24/14	001-2120-522.5200	492.73
11/05/13	130437	116786		SPECIAL PRODUCTS GROUP	160679	4/24/14	001-2120-522.5200	14.00
3/12/14	133014	118709		BRAVERY BADGE, LLC	160655	4/24/14	001-2120-522.5200	14.40
4/22/14	133784	119259		PRINTERS, THE	160677	4/24/14	001-2120-522.5200	180.00
Subtotal for 001-2120-522.5200								2,854.42
4/01/14	133343	118918		SPECTRUM TECHNIQUES	160501	4/10/14	001-2120-522.5500	105.00
Subtotal for 001-2120-522.5500								105.00
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-2130-526.4100	216.42
10/04/13	129635	116227		VERIZON WIRELESS	160522	4/10/14	001-2130-526.4100	74.98
4/10/14	133559	119084		AT & T MOBILITY	160543	4/17/14	001-2130-526.4100	259.99
Subtotal for 001-2130-526.4100								551.39
4/02/14	133398	119009		FEDEX	160440	4/10/14	001-2130-526.4200	25.50
Subtotal for 001-2130-526.4200								25.50
3/21/14	133206	118826		SUNTRUST BANK	160683	4/24/14	001-2130-526.4600	152.99
Subtotal for 001-2130-526.4600								152.99
2/03/14	132148	118067		MULLINAX FORD	160364	4/03/14	001-2130-526.4650	1,692.40
2/24/14	132633	118391		A.O.K. TIRE MART	160408	4/10/14	001-2130-526.4650	756.22
2/25/14	132666	118413		DON REID FORD	160561	4/17/14	001-2130-526.4650	543.69
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	001-2130-526.4650	371.00
Subtotal for 001-2130-526.4650								3,363.31
4/10/14	133563	119088		GRAMAC PRINTING	160579	4/17/14	001-2130-526.4700	502.00
Subtotal for 001-2130-526.4700								502.00
4/10/14	133560	119085		NEB GROUP, INC.	160598	4/17/14	001-2130-526.4950	3,462.61
Subtotal for 001-2130-526.4950								3,462.61
4/10/14	133561	119086		VIDACARE CORPORATION	160641	4/17/14	001-2130-526.5200	558.01
4/10/14	133562	119087		TAYLORS PHARMACY	160627	4/17/14	001-2130-526.5200	1,152.45
4/10/14	133564	119089		BOUND TREE MEDICAL, LLC.	160546	4/17/14	001-2130-526.5200	100.36
Subtotal for 001-2130-526.5200								1,810.82
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	001-2130-526.6400	323.19

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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
12/05/13	131083	117255		MULLINAX FORD	160474	4/10/14	001-2130-526.6400	36,088.30
Subtotal for 001-2130-526.6400								36,411.49
3/07/14	132934	118810		ALISON M. YURKO, P.A.	160304	4/03/14	001-2210-521.3100	1,950.00
3/07/14	132933	118809		E. S. BARTLETT PHD CLINIC.PSYCHOL.IN	160334	4/03/14	001-2210-521.3100	255.00
4/01/14	133400	118958		ALISON M. YURKO, P.A.	160409	4/10/14	001-2210-521.3100	600.00
4/16/14	133699	119203		BARCO, CARROLL S	160654	4/24/14	001-2210-521.3100	715.00
9/18/13	129307	116050		CLERK OF THE COURT, ORANGE CO	160659	4/24/14	001-2210-521.3100	56.00
Subtotal for 001-2210-521.3100								3,576.00
3/28/14	133303			KRUPPENBACHER, FRANK	160298	3/28/14	001-2210-521.3400	25,000.00
3/28/14	133304			PROGRESSIVE COMMUNICATIONS SER	160299	3/28/14	001-2210-521.3400	12,500.00
1/15/14	131753	117773		AMERICAN TRAFFIC SOLUTIONS, INC.	160306	4/03/14	001-2210-521.3400	98,774.00
1/15/14	131753	117773		AMERICAN TRAFFIC SOLUTIONS, INC.	160539	4/17/14	001-2210-521.3400	102,682.00
Subtotal for 001-2210-521.3400								238,956.00
10/14/13	129950	116446		VERIZON WIRELESS	160522	4/10/14	001-2210-521.4100	36.07
10/04/13	129634	116226		VERIZON WIRELESS	160522	4/10/14	001-2210-521.4100	261.01
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2210-521.4100	10.57
Subtotal for 001-2210-521.4100								307.65
10/07/13	129691	116281		FEDEX	160336	4/03/14	001-2210-521.4200	26.68
Subtotal for 001-2210-521.4200								26.68
4/10/14	133558			LAKE AOPKA NATURAL GAS DISTRICT	160464	4/10/14	001-2210-521.4300	22.34
4/10/14	133554			DUKE ENERGY	160437	4/10/14	001-2210-521.4300	293.71
4/17/14	133725			DUKE ENERGY	160567	4/17/14	001-2210-521.4300	124.96
Subtotal for 001-2210-521.4300								441.01
10/29/13	130313	116724		ORANGE COUNTY COMPTROLLER	160371	4/03/14	001-2210-521.4900	18.50
10/29/13	130313	116724		ORANGE COUNTY COMPTROLLER	160482	4/10/14	001-2210-521.4900	18.50
Subtotal for 001-2210-521.4900								37.00
1/02/14	131513	117632		OFFICE DEPOT	160369	4/03/14	001-2210-521.5100	35.26
12/03/13	131029	117342		STAPLES ADVANTAGE	160505	4/10/14	001-2210-521.5100	30.24
3/31/14	133314	118937		OFFICE DEPOT	160673	4/24/14	001-2210-521.5100	164.41
Subtotal for 001-2210-521.5100								229.91
10/24/13	130217	116717		U S SURPLUS SALES, INC.	160516	4/10/14	001-2210-521.5200	6.63
Subtotal for 001-2210-521.5200								6.63
2/18/14	132503	118316		U S SURPLUS SALES, INC.	160632	4/17/14	001-2210-521.5210	1,032.67
2/18/14	132503	118316		U S SURPLUS SALES, INC.	160684	4/24/14	001-2210-521.5210	47.33
Subtotal for 001-2210-521.5210								1,080.00
3/18/14	133096	118816		NOTARY PUBLIC UNDERWRITERS INC.	160368	4/03/14	001-2210-521.5400	55.00
Subtotal for 001-2210-521.5400								55.00
4/03/14	133412	119079		NORTHEAST WISCONSIN TECHNICAL C	160599	4/17/14	001-2210-521.5500	75.00
Subtotal for 001-2210-521.5500								75.00
3/20/14	133174	118820		HOMWOOD SUITES BY HILTON MIAMI	160347	4/03/14	001-2220-521.4000	690.00
3/20/14	133176	118821		LANDRY, STEVEN	160357	4/03/14	001-2220-521.4000	250.00
4/10/14	133573	119097		GRABER, JAMES	160578	4/17/14	001-2220-521.4000	50.00
3/20/14	133171	118818		SUNTRUST BANK	160683	4/24/14	001-2220-521.4000	429.01
Subtotal for 001-2220-521.4000								1,419.01
12/10/13	131192	118042		VERIZON WIRELESS	160522	4/10/14	001-2220-521.4100	36.07
10/04/13	129634	116226		VERIZON WIRELESS	160522	4/10/14	001-2220-521.4100	3,279.11
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2220-521.4100	466.42
Subtotal for 001-2220-521.4100								3,781.60
10/08/13	129759	116327		CANON SOLUTIONS AMERICA, INC	160421	4/10/14	001-2220-521.4600	235.92
Subtotal for 001-2220-521.4600								235.92
2/03/14	132148	118067		MULLINAX FORD	160364	4/03/14	001-2220-521.4650	213.47

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Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	001-2220-521.4650	358.87
3/25/14	133248	118860		DON REID FORD	160330	4/03/14	001-2220-521.4650	300.00
3/31/14	133323	118902		GRAPHIC SOURCE OF CENTRAL FLORII	160455	4/10/14	001-2220-521.4650	129.62
2/21/14	132620	118386		R & R COLLISION CENTER	160491	4/10/14	001-2220-521.4650	7,478.51
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	001-2220-521.4650	3.75
3/11/14	132995	118659		TPH ACQUISITION LLLP	160512	4/10/14	001-2220-521.4650	63.07
3/05/14	132881	118580		MILLIKAN BATTERY & ELECTRIC	160471	4/10/14	001-2220-521.4650	129.00
3/17/14	133084	118725		TESSCO INCORPORATED	160509	4/10/14	001-2220-521.4650	149.10
2/25/14	132666	118413		DON REID FORD	160561	4/17/14	001-2220-521.4650	232.42
4/11/14	133580	119104		RADIOTRONICS, INC.	160613	4/17/14	001-2220-521.4650	109.00
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	001-2220-521.4650	69.95
3/25/14	133254	118866		PRO TREE KUSTOMS AND AUTO COLLI	160610	4/17/14	001-2220-521.4650	1,692.03
Subtotal for 001-2220-521.4650								10,928.79
3/31/14	133337	118942		TRADEMARK PRESS SOLUTIONS INC.	160513	4/10/14	001-2220-521.4700	104.35
Subtotal for 001-2220-521.4700								104.35
1/02/14	131513	117632		OFFICE DEPOT	160369	4/03/14	001-2220-521.5100	100.91
12/03/13	131029	117342		STAPLES ADVANTAGE	160505	4/10/14	001-2220-521.5100	50.41
3/31/14	133314	118937		OFFICE DEPOT	160673	4/24/14	001-2220-521.5100	328.82
Subtotal for 001-2220-521.5100								480.14
1/23/14	131942	117955		HARDDOG'S REQUISITES	160345	4/03/14	001-2220-521.5200	300.00
11/21/13	130871	117204		GOLD NUGGET DBA	160342	4/03/14	001-2220-521.5200	140.25
10/04/13	129638	116230		BRAVERY BADGE, LLC	160313	4/03/14	001-2220-521.5200	49.50
3/18/14	133097	118817		HARDDOG'S REQUISITES	160345	4/03/14	001-2220-521.5200	81.25
3/03/14	132800	118805		AOPKA PRINTING	160309	4/03/14	001-2220-521.5200	300.00
2/03/14	132184	118301		SRT SUPPLY INC.	160393	4/03/14	001-2220-521.5200	1,458.00
12/30/13	131477	117553		AOPKA PRINTING	160309	4/03/14	001-2220-521.5200	304.00
2/03/14	132203	118305		DGG TASER INC.	160326	4/03/14	001-2220-521.5200	275.50
2/24/14	132630	118479		GALLS, AN ARAMARK CO., LLC	160338	4/03/14	001-2220-521.5200	18.95
3/18/14	133095	118815		PIEDMONT ANIMAL HOSPITAL	160375	4/03/14	001-2220-521.5200	1,656.80
3/06/14	132925	118808		DIVISION OF MOTOR VEHICLES	160328	4/03/14	001-2220-521.5200	49.30
11/21/13	130873	117205		U S SURPLUS SALES, INC.	160401	4/03/14	001-2220-521.5200	584.92
10/24/13	130217	116717		U S SURPLUS SALES, INC.	160516	4/10/14	001-2220-521.5200	59.70
11/21/13	130871	117204		GOLD NUGGET DBA	160452	4/10/14	001-2220-521.5200	239.38
12/11/13	131226	117943		LIVEVIEW GPS, INC	160467	4/10/14	001-2220-521.5200	124.70
4/10/14	133575	119099		AMERICAN SOLUTIONS FOR BUSINESS	160538	4/17/14	001-2220-521.5200	41.70
2/06/14	132240	118306		U S SURPLUS SALES, INC.	160632	4/17/14	001-2220-521.5200	99.95
2/18/14	132503	118316		U S SURPLUS SALES, INC.	160632	4/17/14	001-2220-521.5200	1,127.33
4/17/14	133728			POLICE DEPT. PETTY CASH FUND	160606	4/17/14	001-2220-521.5200	28.62
1/27/14	131967	117957		PIEDMONT ANIMAL HOSPITAL	160605	4/17/14	001-2220-521.5200	63.00
2/03/14	132185	118302		PIEDMONT ANIMAL HOSPITAL	160605	4/17/14	001-2220-521.5200	487.45
11/21/13	130871	117204		GOLD NUGGET DBA	160576	4/17/14	001-2220-521.5200	31.37
2/18/14	132503	118316		U S SURPLUS SALES, INC.	160684	4/24/14	001-2220-521.5200	52.57
4/22/14	133784	119259		PRINTERS, THE	160677	4/24/14	001-2220-521.5200	180.00
Subtotal for 001-2220-521.5200								7,754.24
3/28/14	133306	118934		REYES, FERNANDO	160494	4/10/14	001-2220-521.5225	46.87
3/28/14	133308	118935		REHN, PAUL	160493	4/10/14	001-2220-521.5225	53.24
3/31/14	133334	118939		REHN, PAUL	160493	4/10/14	001-2220-521.5225	46.99
3/31/14	133335	118940		REYES, FERNANDO	160494	4/10/14	001-2220-521.5225	17.99
Subtotal for 001-2220-521.5225								165.09
3/28/14	133309	118936		FCPTI	160439	4/10/14	001-2220-521.5450	798.00
Subtotal for 001-2220-521.5450								798.00
3/20/14	133172	118819		MIAMI-DADE COUNTY FLORIDA	160362	4/03/14	001-2220-521.5500	825.00

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Subtotal for 001-2220-521.5500								825.00
3/31/14	133330			PHOENIX DISTRIBUTORS	160374	4/03/14	001-2220-521.6400	360.00
2/03/14	132184	118301		SRT SUPPLY INC.	160393	4/03/14	001-2220-521.6400	3,420.00
Subtotal for 001-2220-521.6400								3,780.00
3/11/14	132976	118811		KENNEDY, BRIAN	160353	4/03/14	001-2230-521.4000	217.00
3/11/14	132977	118812		GARCIA, DANIEL	160339	4/03/14	001-2230-521.4000	217.00
Subtotal for 001-2230-521.4000								434.00
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-2230-521.4100	108.21
10/04/13	129634	116226		VERIZON WIRELESS	160522	4/10/14	001-2230-521.4100	224.94
2/03/14	132161	118080		VERIZON WIRELESS	160522	4/10/14	001-2230-521.4100	72.14
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2230-521.4100	37.00
10/08/13	129765	116331		SPRINT	160680	4/24/14	001-2230-521.4100	257.10
4/21/14	133767	119248		SUNTRUST BANK	160683	4/24/14	001-2230-521.4100	215.00
Subtotal for 001-2230-521.4100								914.39
3/28/14	133305	118933		NAVSURFWARCENDIV	160366	4/03/14	001-2230-521.4400	4,200.00
Subtotal for 001-2230-521.4400								4,200.00
4/08/14	133503	119081		WEBQA, INC	160646	4/17/14	001-2230-521.4600	3,720.00
4/18/14	133750	119242		DATAWORKS PLUS	160661	4/24/14	001-2230-521.4600	700.00
Subtotal for 001-2230-521.4600								4,420.00
2/03/14	132144	118063		ORLANDO DODGE INC.	160372	4/03/14	001-2230-521.4650	1,077.02
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	001-2230-521.4650	43.98
3/05/14	132881	118580		MILLIKAN BATTERY & ELECTRIC	160471	4/10/14	001-2230-521.4650	504.00
3/11/14	132995	118659		TPH ACQUISITION LLLP	160512	4/10/14	001-2230-521.4650	687.85
2/24/14	132633	118391		A.O.K. TIRE MART	160408	4/10/14	001-2230-521.4650	94.95
Subtotal for 001-2230-521.4650								2,407.80
1/02/14	131513	117632		OFFICE DEPOT	160369	4/03/14	001-2230-521.5100	58.75
12/03/13	131029	117342		STAPLES ADVANTAGE	160505	4/10/14	001-2230-521.5100	60.50
3/31/14	133314	118937		OFFICE DEPOT	160673	4/24/14	001-2230-521.5100	328.82
Subtotal for 001-2230-521.5100								448.07
3/03/14	132790	118804		GOLD NUGGET DBA	160342	4/03/14	001-2230-521.5200	271.93
10/24/13	130217	116717		U S SURPLUS SALES, INC.	160516	4/10/14	001-2230-521.5200	13.67
4/17/14	133728			POLICE DEPT. PETTY CASH FUND	160606	4/17/14	001-2230-521.5200	106.42
Subtotal for 001-2230-521.5200								392.02
3/03/14	132802	118806		WOERTMAN, JASON M.	160407	4/03/14	001-2230-521.5250	37.00
Subtotal for 001-2230-521.5250								37.00
10/22/13	130141	116588		DIRECTTV	160327	4/03/14	001-2250-519.4100	139.19
11/04/13	130427	116777		NETWORK INNOVATIONS INC.	160475	4/10/14	001-2250-519.4100	73.73
10/14/13	129950	116446		VERIZON WIRELESS	160522	4/10/14	001-2250-519.4100	36.07
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-2250-519.4100	160.48
10/08/13	129750	116324		SWIFTREACH NETWORKS, INC.	160624	4/17/14	001-2250-519.4100	140.00
10/22/13	130140	116598		RAPID SYSTEMS	160615	4/17/14	001-2250-519.4100	2,698.75
Subtotal for 001-2250-519.4100								3,248.22
4/03/14	133406			DUKE ENERGY	160333	4/03/14	001-2250-519.4300	863.13
4/17/14	133725			DUKE ENERGY	160567	4/17/14	001-2250-519.4300	309.87
Subtotal for 001-2250-519.4300								1,173.00
12/02/13	130989	117208		MOTOROLA SOLUTIONS, INC.	160473	4/10/14	001-2250-519.4600	41,759.20
Subtotal for 001-2250-519.4600								41,759.20
1/02/14	131513	117632		OFFICE DEPOT	160369	4/03/14	001-2250-519.5100	100.91
12/03/13	131029	117342		STAPLES ADVANTAGE	160505	4/10/14	001-2250-519.5100	60.50
Subtotal for 001-2250-519.5100								161.41
2/18/14	132517	118318		AOPKA PRINTING	160309	4/03/14	001-2250-519.5200	28.74

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12/19/13	131375	117465		LOWE'S	160359	4/03/14	001-2250-519.5200	77.34
Subtotal for 001-2250-519.5200								106.08
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	001-3310-519.4000	28.00
4/09/14	133522			PUBLIC SERVICES PETTY CASH	160490	4/10/14	001-3310-519.4000	31.36
4/17/14	133729			PUBLIC SERVICES PETTY CASH	160612	4/17/14	001-3310-519.4000	14.56
Subtotal for 001-3310-519.4000								73.92
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	001-3310-519.4100	32.72
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-3310-519.4100	10.57
12/01/13	129636	116228		VERIZON WIRELESS	160522	4/10/14	001-3310-519.4100	37.49
Subtotal for 001-3310-519.4100								80.78
4/17/14	133726			DUKE ENERGY	160567	4/17/14	001-3310-519.4300	160.69
4/23/14	133823			DUKE ENERGY	160665	4/24/14	001-3310-519.4300	252.33
Subtotal for 001-3310-519.4300								413.02
3/18/14	133113	118745		BERNAL MACHINE SHOP INC	160311	4/03/14	001-3310-519.4600	140.00
3/17/14	133088	118729		SAFETY- KLEEN	160496	4/10/14	001-3310-519.4600	576.31
3/21/14	133199	118798		NORWALK COMPRESSOR CO.	160477	4/10/14	001-3310-519.4600	2,366.48
1/07/14	131556	117614		DON WOOD, INC.	160434	4/10/14	001-3310-519.4600	67.86
4/02/14	133355	118927		FIRETRONICS EXTINGUISHERS, INC.	160442	4/10/14	001-3310-519.4600	104.70
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-3310-519.4600	714.00
3/25/14	133241	118852		ORLANDO PAVING CO	160484	4/10/14	001-3310-519.4600	192.21
Subtotal for 001-3310-519.4600								4,161.56
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	001-3310-519.4650	52.18
2/17/14	132474	118263		AMERICAN WIRE & TERMINAL	160413	4/10/14	001-3310-519.4650	27.15
Subtotal for 001-3310-519.4650								79.33
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	001-3310-519.5100	123.95
Subtotal for 001-3310-519.5100								123.95
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160485	4/10/14	001-3310-519.5200	21.18
3/11/14	132995	118659		TPH ACQUISITION LLLP	160512	4/10/14	001-3310-519.5200	630.53
3/05/14	132857	118565		HELM, INC.	160459	4/10/14	001-3310-519.5200	450.00
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	001-3310-519.5200	65.00
4/09/14	133506	119050		WATER CANNON INC	160645	4/17/14	001-3310-519.5200	89.29
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160675	4/24/14	001-3310-519.5200	4.82
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	001-3310-519.5200	451.60
Subtotal for 001-3310-519.5200								1,712.42
4/04/14	133434	118987		APOPKA BOTTLE & R.V.GAS CENTER IN	160540	4/17/14	001-3310-519.5250	61.32
Subtotal for 001-3310-519.5250								61.32
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	001-3512-539.4100	32.72
Subtotal for 001-3512-539.4100								32.72
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	001-3512-539.4600	74.00
4/08/14	133478	119027		MAHONEY ICE EQUIPMENT	160594	4/17/14	001-3512-539.4600	157.83
Subtotal for 001-3512-539.4600								231.83
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	001-3512-539.4650	14.48
2/25/14	132666	118413		DON REID FORD	160561	4/17/14	001-3512-539.4650	24.87
Subtotal for 001-3512-539.4650								39.35
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	001-3512-539.5200	28.92
Subtotal for 001-3512-539.5200								28.92
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-3513-572.4100	10.54
Subtotal for 001-3513-572.4100								10.54
4/03/14	133406			DUKE ENERGY	160333	4/03/14	001-3513-572.4300	72.34
4/23/14	133823			DUKE ENERGY	160665	4/24/14	001-3513-572.4300	13.02
Subtotal for 001-3513-572.4300								85.36

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4/02/14	133391	118956		PRO TREE KUSTOMS AND AUTO COLLI	160488	4/10/14	001-3513-572.4600	352.00
4/08/14	133478	119027		MAHONEY ICE EQUIPMENT	160594	4/17/14	001-3513-572.4600	157.83
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	001-3513-572.4600	74.00
Subtotal for 001-3513-572.4600								583.83
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	001-3513-572.4650	13.31
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	001-3513-572.4650	8.10
4/02/14	133356	118928		DAVIDS TRAILERS INC.	160431	4/10/14	001-3513-572.4650	118.85
2/17/14	132488	118276		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	001-3513-572.4650	100.46
Subtotal for 001-3513-572.4650								240.72
3/25/14	133244	118856		WASTE MANAGEMENT OF VISTA LANDF	160405	4/03/14	001-3513-572.4900	144.76
4/08/14	133505	119048		WASTE MANAGEMENT OF VISTA LANDF	160644	4/17/14	001-3513-572.4900	189.86
Subtotal for 001-3513-572.4900								334.62
2/25/14	132645	118401		LOWE'S	160359	4/03/14	001-3513-572.5200	226.04
3/19/14	133141	118760		TRAIL SAW & MOWER SERVICE, INC.	160398	4/03/14	001-3513-572.5200	1,221.72
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	001-3513-572.5200	201.40
Subtotal for 001-3513-572.5200								1,649.16
4/17/14	133725			DUKE ENERGY	160567	4/17/14	001-3514-572.4300	29.79
Subtotal for 001-3514-572.4300								29.79
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	001-3514-572.4600	74.00
Subtotal for 001-3514-572.4600								74.00
3/25/14	133253	118865		WELDON PARTS-ORLANDO	160406	4/03/14	001-3514-572.4650	23.40
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	001-3514-572.4650	12.68
2/24/14	132633	118391		A.O.K. TIRE MART	160408	4/10/14	001-3514-572.4650	607.50
4/10/14	133552	119075		GRAPHIC SOURCE OF CENTRAL FLORII	160580	4/17/14	001-3514-572.4650	18.00
2/25/14	132666	118413		DON REID FORD	160561	4/17/14	001-3514-572.4650	5.53
2/17/14	132488	118276		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	001-3514-572.4650	942.23
Subtotal for 001-3514-572.4650								1,609.34
1/28/14	132029	117982		LAKE JEM FARMS INC.	160465	4/10/14	001-3514-572.5200	608.00
12/19/13	131380	117474		TRUGREEN	160515	4/10/14	001-3514-572.5200	8,465.00
4/08/14	133500	119044		TWC DISTRIBUTORS	160631	4/17/14	001-3514-572.5200	1,660.09
4/08/14	133501	119045		LEE'S TREES & LANDSCAPE	160590	4/17/14	001-3514-572.5200	379.00
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	001-3514-572.5200	91.04
Subtotal for 001-3514-572.5200								11,203.13
4/04/14	133449	118999		ARBOR DAY FOUNDATION	160415	4/10/14	001-3514-572.5400	35.00
4/04/14	133450	119000		FRPA	160450	4/10/14	001-3514-572.5400	160.00
Subtotal for 001-3514-572.5400								195.00
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-3612-572.4100	15.86
4/10/14	133559	119084		AT & T MOBILITY	160543	4/17/14	001-3612-572.4100	45.45
Subtotal for 001-3612-572.4100								61.31
4/09/14	133518			RECREATION DEPT. PETTY CASH	160492	4/10/14	001-3612-572.4200	9.80
Subtotal for 001-3612-572.4200								9.80
4/10/14	133554			DUKE ENERGY	160437	4/10/14	001-3612-572.4300	136.87
4/17/14	133731			DUKE ENERGY	160567	4/17/14	001-3612-572.4300	8,958.30
Subtotal for 001-3612-572.4300								9,095.17
3/20/14	133182	118787		PREMIERE JANITORIAL SUPPLY	160486	4/10/14	001-3612-572.4600	140.40
4/07/14	133464	119017		MERCER PEST CONTROL, INC.	160470	4/10/14	001-3612-572.4600	82.14
Subtotal for 001-3612-572.4600								222.54
4/04/14	133417	118994		CENTRAL FLORIDA TRUCK ACCESSORI	160552	4/17/14	001-3612-572.4650	175.00
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	001-3612-572.4650	60.00
Subtotal for 001-3612-572.4650								235.00
2/14/14	132450	118245		HOME DEPOT CREDIT SERVICES	160460	4/10/14	001-3612-572.5200	249.85

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3/28/14	133310	118893		CFM DISTRIBUTING CO., INC.	160427	4/10/14	001-3612-572.5200	736.31
4/09/14	133518			RECREATION DEPT. PETTY CASH	160492	4/10/14	001-3612-572.5200	127.31
Subtotal for 001-3612-572.5200								1,113.47
3/12/14	133008	118675		MANSFIELD OIL, CO.	160596	4/17/14	001-3612-572.5250	2,518.67
Subtotal for 001-3612-572.5250								2,518.67
3/18/14	133120	118746		SPORT SUPPLY GROUP, INC.	160502	4/10/14	001-3612-572.6400	2,459.98
3/24/14	133235	118847		SPORT SUPPLY GROUP, INC.	160502	4/10/14	001-3612-572.6400	2,459.98
3/25/14	133257	118869		SPORT SUPPLY GROUP, INC.	160502	4/10/14	001-3612-572.6400	1,639.99
Subtotal for 001-3612-572.6400								6,559.95
10/10/13	129837	116369		SUNDANCE ARCHITECTURAL PRODUCT	160682	4/24/14	001-3613-572.4600	42,450.00
Subtotal for 001-3613-572.4600								42,450.00
11/25/13	130907	117118		FIFTH THIRD BANK	160571	4/17/14	001-3613-572.5200	104.55
1/27/14	131987	117929		FIFTH THIRD BANK	160571	4/17/14	001-3613-572.5200	462.00
3/11/14	132983	118648		FIFTH THIRD BANK	160571	4/17/14	001-3613-572.5200	391.91
1/27/14	131997	117939		ABSOLUTE IMAGE	160531	4/17/14	001-3613-572.5200	600.00
1/27/14	131994	117936		FIFTH THIRD BANK	160571	4/17/14	001-3613-572.5200	536.77
1/27/14	131988	117930		ABSOLUTE IMAGE	160531	4/17/14	001-3613-572.5200	480.00
Subtotal for 001-3613-572.5200								2,575.23
3/31/14	133327	118905		WEBSKINZ	160524	4/10/14	001-3613-572.5201	480.00
1/31/14	132116	118035		FIFTH THIRD BANK	160571	4/17/14	001-3613-572.5201	654.63
4/22/14	133779	119255		PORT-A-PIT BAR-B-QUE OF ORLANDO	160676	4/24/14	001-3613-572.5201	3,400.00
Subtotal for 001-3613-572.5201								4,534.63
4/01/14	133341	118916		RUBIN GROUP, THE	160386	4/03/14	001-4020-515.3100	6,000.00
4/02/14	133361			RANDALL A. SOMERS	160381	4/03/14	001-4020-515.3100	1,000.00
4/14/14	133639	119153		RUBIN GROUP, THE	160618	4/17/14	001-4020-515.3100	6,000.00
4/16/14	133674			RANDALL A. SOMERS	160614	4/17/14	001-4020-515.3100	1,000.00
4/08/14	133504	119047		ALCALDE & FAY	160533	4/17/14	001-4020-515.3100	5,013.03
Subtotal for 001-4020-515.3100								19,013.03
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-4020-515.4100	5.29
Subtotal for 001-4020-515.4100								5.29
4/07/14	133467	119020		RICOH USA, INC.	160495	4/10/14	001-4020-515.4600	88.93
Subtotal for 001-4020-515.4600								88.93
3/27/14	133292	118887		AOPKA CHIEF, THE	160307	4/03/14	001-4020-515.4902	573.15
4/07/14	133468	119021		AOPKA CHIEF, THE	160414	4/10/14	001-4020-515.4902	360.00
4/11/14	133589	119111		AOPKA CHIEF, THE	160541	4/17/14	001-4020-515.4902	36.00
4/15/14	133657	119166		ORLANDO SENTINEL	160603	4/17/14	001-4020-515.4902	140.00
Subtotal for 001-4020-515.4902								1,109.15
4/03/14	133413	118969		CAPITAL OFFICE PRODUCTS	160422	4/10/14	001-4020-515.5100	97.39
Subtotal for 001-4020-515.5100								97.39
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-4020-515.5200	36.07
Subtotal for 001-4020-515.5200								36.07
4/04/14	133441	118990		FLORIDA FLOODPLAIN MANAGERS ASS	160446	4/10/14	001-4020-515.5400	50.00
Subtotal for 001-4020-515.5400								50.00
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	001-4021-524.4600	1,187.10
4/07/14	133467	119020		RICOH USA, INC.	160495	4/10/14	001-4021-524.4600	88.92
Subtotal for 001-4021-524.4600								1,276.02
4/03/14	133413	118969		CAPITAL OFFICE PRODUCTS	160422	4/10/14	001-4021-524.5100	57.80
Subtotal for 001-4021-524.5100								57.80
11/05/13	130441	116789		VERIZON WIRELESS	160522	4/10/14	001-4021-524.5200	144.28
Subtotal for 001-4021-524.5200								144.28
4/01/14	133353	118925		HARRIS COMPUTER CORP DBA	160458	4/10/14	001-5110-519.3400	22,162.50

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3/04/14	132847	118555		ATLANTIC.NET	160416	4/10/14	001-5110-519.3400	249.14
4/08/14	133503	119081		WEBQA, INC	160646	4/17/14	001-5110-519.3400	11,040.00
Subtotal for 001-5110-519.3400								33,451.64
4/10/14	133555			CENTURYLINK	160426	4/10/14	001-5110-519.4100	133.57
12/01/13	129636	116228		VERIZON WIRELESS	160522	4/10/14	001-5110-519.4100	36.07
10/04/13	129643	116235		VERIZON WIRELESS	160522	4/10/14	001-5110-519.4100	649.26
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	001-5110-519.4100	37.00
4/17/14	133705			CENTURYLINK	160553	4/17/14	001-5110-519.4100	619.00
4/17/14	133706			CENTURYLINK	160553	4/17/14	001-5110-519.4100	242.32
Subtotal for 001-5110-519.4100								1,717.22
10/05/13	129669	116261		FEDEX	160440	4/10/14	001-5110-519.4200	27.05
10/05/13	129670	116262		UNITED PARCEL SERVICE	160635	4/17/14	001-5110-519.4200	8.52
2/26/14	132710	118451		SUNTRUST BANK	160683	4/24/14	001-5110-519.4200	7.61
Subtotal for 001-5110-519.4200								43.18
3/13/14	133057	118698		SHI INTERNATIONAL CORP.	160499	4/10/14	001-5110-519.4600	11,494.00
3/31/14	133326	118910		BATTERY BANK, THE	160418	4/10/14	001-5110-519.4600	223.65
3/24/14	133233	118909		HARRIS COMPUTER CORP DBA	160458	4/10/14	001-5110-519.4600	21,496.00
4/04/14	133453	119001		DIGITAL DATA TECHNOLOGIES, INC.	160433	4/10/14	001-5110-519.4600	674.94
4/04/14	133453	119001		DIGITAL DATA TECHNOLOGIES, INC.	160560	4/17/14	001-5110-519.4600	2,062.50
4/01/14	133344	118919		CDW GOVERNMENT, INC.	160550	4/17/14	001-5110-519.4600	8,950.00
3/06/14	132904	118593		UNITRENDS, INC.	160637	4/17/14	001-5110-519.4600	13,298.00
Subtotal for 001-5110-519.4600								58,199.09
4/01/14	133346	118921		GOVCONNECTION, INC.	160453	4/10/14	001-5110-519.5200	372.78
10/24/13	130256	116635		GOVCONNECTION, INC.	160577	4/17/14	001-5110-519.5200	201.10
2/26/14	132710	118451		SUNTRUST BANK	160683	4/24/14	001-5110-519.5200	70.09
3/03/14	132795	118527		SUNTRUST BANK	160683	4/24/14	001-5110-519.5200	49.00
3/06/14	132912	118597		SUNTRUST BANK	160683	4/24/14	001-5110-519.5200	365.00
Subtotal for 001-5110-519.5200								1,057.97
4/08/14	133495	119038		SUNTRUST BANK	160683	4/24/14	001-5110-519.6400	2,410.00
Subtotal for 001-5110-519.6400								2,410.00
Subtotal for Fund 001 GENERAL FUND								1,123,944.21
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	101-3412-541.4100	32.72
4/10/14	133555			CENTURYLINK	160426	4/10/14	101-3412-541.4100	47.79
12/01/13	129636	116228		VERIZON WIRELESS	160522	4/10/14	101-3412-541.4100	37.49
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	101-3412-541.4100	26.43
4/24/14	133833			CENTURYLINK	160657	4/24/14	101-3412-541.4100	51.37
Subtotal for 101-3412-541.4100								195.80
4/08/14	133492	119040		UNITED PARCEL SERVICE	160635	4/17/14	101-3412-541.4200	4.27
Subtotal for 101-3412-541.4200								4.27
4/03/14	133406			DUKE ENERGY	160333	4/03/14	101-3412-541.4300	11,149.28
4/10/14	133554			DUKE ENERGY	160437	4/10/14	101-3412-541.4300	23,257.72
4/17/14	133725			DUKE ENERGY	160567	4/17/14	101-3412-541.4300	50,144.47
4/17/14	133731			DUKE ENERGY	160567	4/17/14	101-3412-541.4300	4,821.33
4/23/14	133825			DUKE ENERGY	160665	4/24/14	101-3412-541.4300	5,096.52
4/23/14	133823			DUKE ENERGY	160665	4/24/14	101-3412-541.4300	9,604.75
Subtotal for 101-3412-541.4300								104,074.07
3/18/14	133099	118734		TRANSPORTATION CONTROL SYSTEMS	160399	4/03/14	101-3412-541.4600	504.00
3/31/14	133324	118903		ODOM ELECTRICAL SERVICES INC.	160479	4/10/14	101-3412-541.4600	400.00
4/08/14	133478	119027		MAHONEY ICE EQUIPMENT	160594	4/17/14	101-3412-541.4600	157.84
4/01/14	133345	118920		AMERICAN LIGHTING & SIGNALIZATION	160537	4/17/14	101-3412-541.4600	4,398.00
4/04/14	133436	118989		ALDIS, INC	160534	4/17/14	101-3412-541.4600	372.84

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Subtotal for 101-3412-541.4600								5,832.68
3/13/14	133051	118694		LACAL EQUIPMENT, INC	160355	4/03/14	101-3412-541.4650	926.50
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	101-3412-541.4650	16.50
2/25/14	132663	118410		CAR STORE OF WEST ORANGE, INC.	160423	4/10/14	101-3412-541.4650	556.63
2/17/14	132482	118270		NEXTRAN TRUCK CENTER - ORLANDO	160476	4/10/14	101-3412-541.4650	81.82
2/17/14	132488	118276		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	101-3412-541.4650	66.59
Subtotal for 101-3412-541.4650								1,648.04
3/25/14	133244	118856		WASTE MANAGEMENT OF VISTA LANDF	160405	4/03/14	101-3412-541.4900	2,442.44
4/08/14	133505	119048		WASTE MANAGEMENT OF VISTA LANDF	160644	4/17/14	101-3412-541.4900	646.14
Subtotal for 101-3412-541.4900								3,088.58
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	101-3412-541.5200	16.48
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	101-3412-541.5200	10.96
3/26/14	133258	118870		PRO-CHEM,INC.	160489	4/10/14	101-3412-541.5200	229.50
3/24/14	133208	118827		HOME DEPOT CREDIT SERVICES	160460	4/10/14	101-3412-541.5200	56.40
2/25/14	132668	118415		SASE COMPANY	160497	4/10/14	101-3412-541.5200	38.43
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	101-3412-541.5200	9.52
3/11/14	132995	118659		TPH ACQUISITION LLLP	160512	4/10/14	101-3412-541.5200	47.30
2/17/14	132488	118276		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	101-3412-541.5200	67.03
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	101-3412-541.5200	115.92
Subtotal for 101-3412-541.5200								591.54
4/09/14	133536	119066		RYAN BROTHERS, INC.	160619	4/17/14	101-3412-541.5203	42.30
Subtotal for 101-3412-541.5203								42.30
3/24/14	133213	118829		OSBURN ASSOCIATES INC	160485	4/10/14	101-3412-541.5204	2,500.00
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160485	4/10/14	101-3412-541.5204	256.73
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160675	4/24/14	101-3412-541.5204	58.27
Subtotal for 101-3412-541.5204								2,815.00
3/03/14	132785	118516		ORLANDO PAVING CO	160373	4/03/14	101-3412-541.5300	126.78
3/28/14	133312	118895		OSBURN ASSOCIATES INC	160675	4/24/14	101-3412-541.5300	183.34
Subtotal for 101-3412-541.5300								310.12
11/22/13	130882	117097		ALTEC INDUSTRIES, INC.	160536	4/17/14	101-3412-541.6400	111,640.00
Subtotal for 101-3412-541.6400								111,640.00
3/31/14	133316	118897		DEPT. OF CORRECTIONS	160325	4/03/14	101-3414-541.3400	14,374.25
Subtotal for 101-3414-541.3400								14,374.25
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	101-3414-541.4100	98.16
Subtotal for 101-3414-541.4100								98.16
3/19/14	133125	118749		TRAIL SAW & MOWER SERVICE, INC.	160398	4/03/14	101-3414-541.5200	545.80
4/07/14	133461	119014		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	101-3414-541.5200	896.38
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	101-3414-541.5200	21.96
Subtotal for 101-3414-541.5200								1,464.14
Subtotal for Fund 101 STREETS IMPROVEMENT FUND								246,178.95
4/02/14	133393		20100004	ALLSTATE PAVING, INC.	160305	4/03/14	102-205.0002	116,840.74
10/31/13	130378	116732		CHINCHOR ELECTRIC, INC	160320	4/03/14	102-205.0002	15,946.99
1/27/14	131990	117932	20130002	MASCI CORPORATION	160469	4/10/14	102-205.0002	-23,339.21
Subtotal for 102-205.0002								109,448.52
1/31/14	132120	118038		LUKE TRANSPORTATION ENGINEER CC	160592	4/17/14	102-3413-541.3112	4,303.12
Subtotal for 102-3413-541.3112								4,303.12
3/13/14	133037	118687	20100004	UNIVERSAL ENGINEERING SCIENCES, I	160404	4/03/14	102-3413-541.6300	1,251.35
1/27/14	131990	117932	20130002	MASCI CORPORATION	160469	4/10/14	102-3413-541.6300	233,392.13
Subtotal for 102-3413-541.6300								234,643.48
Subtotal for Fund 102 TRANSPORTATION IMPACT FEES								348,395.12
3/28/14	133297	118931		FERNANDEZ, RANDALL	1296	4/03/14	103-2291-521.4900	2,500.00

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Subtotal for 103-2291-521.4900								2,500.00
3/31/14	133328			PHOENIX DISTRIBUTORS	1295	3/31/14	103-2291-521.6400	2,240.00
Subtotal for 103-2291-521.6400								2,240.00
Subtotal for Fund 103 LAW ENFORCEMENT TRUST-FEDERAL								4,740.00
1/27/14	131971	117918		ESTEP CONSTRUCTION INC	160335	4/03/14	120-205.0002	-10,961.00
Subtotal for 120-205.0002								-10,961.00
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	120-3151-538.4100	57.71
Subtotal for 120-3151-538.4100								57.71
4/03/14	133409	118966		FLOWERS CHEMICAL LABORATORIES I	160448	4/10/14	120-3151-538.5200	370.00
Subtotal for 120-3151-538.5200								370.00
3/25/14	133244	118856		WASTE MANAGEMENT OF VISTA LANDF	160405	4/03/14	120-3151-538.6300	2,031.70
1/27/14	131971	117918	20140004	ESTEP CONSTRUCTION INC	160335	4/03/14	120-3151-538.6300	109,610.00
4/08/14	133505	119048		WASTE MANAGEMENT OF VISTA LANDF	160644	4/17/14	120-3151-538.6300	2,046.88
Subtotal for 120-3151-538.6300								113,688.58
Subtotal for Fund 120 STORMWATER SPECIAL REVENUE FUND								103,155.29
4/17/14	133704			MJ ALTMAN COMPANIES, INC.	160597	4/17/14	401-117.0000	542.87
Subtotal for 401-117.0000								542.87
3/10/14	132962	118638		H D SUPPLY WATER WORKS, LTD.	160344	4/03/14	401-141.1120	9,410.98
3/20/14	133187	118790		GRAINGER	160343	4/03/14	401-141.1120	1,397.48
3/07/14	132940	118622		SAFETY PRODUCTS INC	160387	4/03/14	401-141.1120	1,066.04
2/12/14	132411	118218		SOUTHERN LOCK AND SUPPLY CO	160392	4/03/14	401-141.1120	2,037.11
3/25/14	133242	118853		H D SUPPLY WATER WORKS, LTD.	160344	4/03/14	401-141.1120	5,177.00
3/06/14	132910	118595		SENSUS METERING SYSTEMS	160498	4/10/14	401-141.1120	14,580.00
3/11/14	133000	118664		ZEP SALES & SERVICE	160528	4/10/14	401-141.1120	1,796.78
3/26/14	133258	118870		PRO-CHEM,INC.	160489	4/10/14	401-141.1120	1,511.80
2/20/14	132594	118364		SENSUS METERING SYSTEMS	160620	4/17/14	401-141.1120	11,346.48
3/24/14	133239	118851		NORTHERN SAFETY CO.,INC.	160600	4/17/14	401-141.1120	1,126.79
4/08/14	133493	119041		BLUETARP FINANCIAL INC	160545	4/17/14	401-141.1120	497.48
1/24/14	131953	117903		SENSUS METERING SYSTEMS	160620	4/17/14	401-141.1120	19,114.00
1/23/14	131945	117896		SENSUS METERING SYSTEMS	160620	4/17/14	401-141.1120	18,244.00
4/04/14	133446	118996		USA BLUE BOOK	160639	4/17/14	401-141.1120	351.46
Subtotal for 401-141.1120								87,657.40
2/17/14	132491	118279		ORLANDO SENTINEL	160603	4/17/14	401-3010-539.3100	342.50
Subtotal for 401-3010-539.3100								342.50
3/04/14	132847	118555		ATLANTIC.NET	160416	4/10/14	401-3010-539.3400	249.14
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	401-3010-539.3400	540.00
Subtotal for 401-3010-539.3400								789.14
4/17/14	133725			DUKE ENERGY	160567	4/17/14	401-3010-539.4300	349.74
4/17/14	133726			DUKE ENERGY	160567	4/17/14	401-3010-539.4300	53.57
Subtotal for 401-3010-539.4300								403.31
12/05/13	131073	117246		RICOH USA, INC.	160382	4/03/14	401-3010-539.4600	92.86
12/05/13	131074	117247		COPIER CONNECTION LLC	160322	4/03/14	401-3010-539.4600	81.87
4/07/14	133464	119017		MERCER PEST CONTROL, INC.	160470	4/10/14	401-3010-539.4600	127.14
12/02/13	130989	117208		MOTOROLA SOLUTIONS, INC.	160473	4/10/14	401-3010-539.4600	12,600.00
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	401-3010-539.4600	519.00
Subtotal for 401-3010-539.4600								13,420.87
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3010-539.5100	87.70
Subtotal for 401-3010-539.5100								87.70
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	401-3010-539.5200	6.00
4/09/14	133522			PUBLIC SERVICES PETTY CASH	160490	4/10/14	401-3010-539.5200	4.44
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3010-539.5200	10.57

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4/17/14	133729			PUBLIC SERVICES PETTY CASH	160612	4/17/14	401-3010-539.5200	15.00
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3010-539.5200	43.52
Subtotal for 401-3010-539.5200								79.53
4/14/14	133636	119150		COCA-COLA ENTERPRISES	160555	4/17/14	401-3010-539.5201	105.00
Subtotal for 401-3010-539.5201								105.00
4/04/14	133434	118987		APOPKA BOTTLE & R.V.GAS CENTER IN	160540	4/17/14	401-3010-539.5250	61.32
Subtotal for 401-3010-539.5250								61.32
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	401-3111-533.4000	27.44
Subtotal for 401-3111-533.4000								27.44
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	401-3111-533.4100	31.93
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3111-533.4100	15.86
2/04/14	132171	118089		VERIZON WIRELESS	160522	4/10/14	401-3111-533.4100	72.14
10/08/13	129750	116324		SWIFTREACH NETWORKS, INC.	160624	4/17/14	401-3111-533.4100	270.35
4/17/14	133705			CENTURYLINK	160553	4/17/14	401-3111-533.4100	150.00
Subtotal for 401-3111-533.4100								540.28
4/10/14	133554			DUKE ENERGY	160437	4/10/14	401-3111-533.4300	2,357.23
4/17/14	133731			DUKE ENERGY	160567	4/17/14	401-3111-533.4300	29,528.06
Subtotal for 401-3111-533.4300								31,885.29
3/14/14	133073	118719		CONSOLIDATED ELECTRICAL DIST.	160429	4/10/14	401-3111-533.4400	50.00
Subtotal for 401-3111-533.4400								50.00
12/02/13	130988	117182		CANON SOLUTIONS AMERICA, INC.	160318	4/03/14	401-3111-533.4600	6.16
1/28/14	132016	117971		HOME DEPOT CREDIT SERVICES	160460	4/10/14	401-3111-533.4600	95.47
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3111-533.4600	74.00
4/03/14	133410	118967		LaMOTTE COMPANY	160593	4/17/14	401-3111-533.4600	125.83
3/17/14	133080	118722		HARRINGTON INDUSTRIAL PLASTICS LL	160583	4/17/14	401-3111-533.4600	364.47
2/27/14	132751	118474		GENSET SERVICES INC.	160575	4/17/14	401-3111-533.4600	4,615.17
4/16/14	133686	119192		GENSET SERVICES INC.	160669	4/24/14	401-3111-533.4600	1,078.68
Subtotal for 401-3111-533.4600								6,359.78
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	401-3111-533.4650	103.36
Subtotal for 401-3111-533.4650								103.36
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3111-533.5100	19.98
Subtotal for 401-3111-533.5100								19.98
3/13/14	133050	118693		FLOWERS CHEMICAL LABORATORIES I	160337	4/03/14	401-3111-533.5200	140.00
2/06/14	132223	118120		ADVANCED ENVIRONMENTAL LABORAT	160302	4/03/14	401-3111-533.5200	2,625.00
4/09/14	133522			PUBLIC SERVICES PETTY CASH	160490	4/10/14	401-3111-533.5200	19.69
4/02/14	133392	118957		ALLIED UNIVERSAL CORPORATION	160410	4/10/14	401-3111-533.5200	2,209.28
4/10/14	133549	119072		ALLIED UNIVERSAL CORPORATION	160535	4/17/14	401-3111-533.5200	2,257.92
4/03/14	133411	118968		CPI INTERNATIONAL	160558	4/17/14	401-3111-533.5200	583.33
4/17/14	133735	119219		ALLIED UNIVERSAL CORPORATION	160650	4/24/14	401-3111-533.5200	2,940.16
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3111-533.5200	99.13
Subtotal for 401-3111-533.5200								10,874.51
4/17/14	133713			WALDEN, BEVERLY	160642	4/17/14	401-3111-533.5220	165.00
Subtotal for 401-3111-533.5220								165.00
3/07/14	132927	118610		CONSOLIDATED ELECTRICAL DIST.	160321	4/03/14	401-3111-533.6400	767.15
3/14/14	133073	118719		CONSOLIDATED ELECTRICAL DIST.	160429	4/10/14	401-3111-533.6400	-22.05
Subtotal for 401-3111-533.6400								745.10
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	401-3121-535.3400	400.00
Subtotal for 401-3121-535.3400								400.00
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	401-3121-535.4000	6.72
4/17/14	133729			PUBLIC SERVICES PETTY CASH	160612	4/17/14	401-3121-535.4000	55.44
Subtotal for 401-3121-535.4000								62.16

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3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	401-3121-535.4100	65.44
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3121-535.4100	21.14
Subtotal for 401-3121-535.4100								86.58
4/03/14	133406			DUKE ENERGY	160333	4/03/14	401-3121-535.4300	8,121.28
4/10/14	133554			DUKE ENERGY	160437	4/10/14	401-3121-535.4300	387.80
4/17/14	133731			DUKE ENERGY	160567	4/17/14	401-3121-535.4300	48,362.28
4/24/14	133834			DUKE ENERGY	160665	4/24/14	401-3121-535.4300	1,121.19
4/23/14	133826			DUKE ENERGY	160665	4/24/14	401-3121-535.4300	3,402.38
4/23/14	133823			DUKE ENERGY	160665	4/24/14	401-3121-535.4300	76.75
Subtotal for 401-3121-535.4300								61,471.68
3/14/14	133069	118711		SEALING RESOURCES OF JACKSONVIL	160388	4/03/14	401-3121-535.4600	1,366.79
1/28/14	132016	117971		HOME DEPOT CREDIT SERVICES	160460	4/10/14	401-3121-535.4600	108.62
3/31/14	133320	118899		CONSOLIDATED ELECTRICAL DIST.	160429	4/10/14	401-3121-535.4600	172.16
3/18/14	133091	118732		AWC INC.	160417	4/10/14	401-3121-535.4600	66.88
3/31/14	133320	118899		CONSOLIDATED ELECTRICAL DIST.	160557	4/17/14	401-3121-535.4600	73.52
4/09/14	133525	119063		AWC INC.	160544	4/17/14	401-3121-535.4600	21.49
Subtotal for 401-3121-535.4600								1,809.46
3/26/14	133259	118871		LOUIS E. SNYDER	160358	4/03/14	401-3121-535.4650	456.20
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	401-3121-535.4650	131.92
Subtotal for 401-3121-535.4650								588.12
3/31/14	133321	118900		SHELLEY'S SEPTIC TANKS	160390	4/03/14	401-3121-535.4900	9,750.00
4/11/14	133586	119108		SHELLEY'S SEPTIC TANKS	160621	4/17/14	401-3121-535.4900	12,187.50
Subtotal for 401-3121-535.4900								21,937.50
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3121-535.5100	38.34
Subtotal for 401-3121-535.5100								38.34
12/31/13	131494	117564		FLOWERS CHEMICAL LABORATORIES I	160337	4/03/14	401-3121-535.5200	105.00
3/21/14	133195	118796		FLOWERS CHEMICAL LABORATORIES I	160337	4/03/14	401-3121-535.5200	375.00
4/02/14	133394			PUBLIC SERVICES PETTY CASH	160378	4/03/14	401-3121-535.5200	54.93
3/10/14	132962	118638		H D SUPPLY WATER WORKS, LTD.	160344	4/03/14	401-3121-535.5200	250.00
2/12/14	132384	118196		SPRAYER PARTS DEPOT	160503	4/10/14	401-3121-535.5200	109.39
2/06/14	132221	118118		COMPRESSED GAS SOLUTIONS, INC.	160428	4/10/14	401-3121-535.5200	275.00
10/14/13	129918	116421		FISHER SCIENTIFIC	160443	4/10/14	401-3121-535.5200	189.31
4/02/14	133392	118957		ALLIED UNIVERSAL CORPORATION	160410	4/10/14	401-3121-535.5200	1,072.00
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160485	4/10/14	401-3121-535.5200	15.89
3/21/14	133195	118796		FLOWERS CHEMICAL LABORATORIES I	160448	4/10/14	401-3121-535.5200	105.00
4/10/14	133549	119072		ALLIED UNIVERSAL CORPORATION	160535	4/17/14	401-3121-535.5200	821.76
4/17/14	133729			PUBLIC SERVICES PETTY CASH	160612	4/17/14	401-3121-535.5200	10.75
4/11/14	133584	119106		FLOWERS CHEMICAL LABORATORIES I	160573	4/17/14	401-3121-535.5200	360.00
4/03/14	133408	118965		COLOR WHEEL PAINT MFG CO, INC	160556	4/17/14	401-3121-535.5200	205.98
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3121-535.5200	365.44
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160675	4/24/14	401-3121-535.5200	3.61
4/17/14	133735	119219		ALLIED UNIVERSAL CORPORATION	160650	4/24/14	401-3121-535.5200	586.88
Subtotal for 401-3121-535.5200								4,905.94
4/01/14	133338	118913		DEP - OPERATOR CERTIFICATION	160324	4/03/14	401-3121-535.5500	100.00
Subtotal for 401-3121-535.5500								100.00
3/06/14	132911	118596		FREEDOM MECHANICAL INC.	160574	4/17/14	401-3121-535.6400	6,525.00
Subtotal for 401-3121-535.6400								6,525.00
4/17/14	133726			DUKE ENERGY	160567	4/17/14	401-3131-536.4300	80.35
Subtotal for 401-3131-536.4300								80.35
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3131-536.4600	74.00
Subtotal for 401-3131-536.4600								74.00

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2/24/14	132633	118391		A.O.K. TIRE MART	160408	4/10/14	401-3131-536.4650	75.00
3/20/14	133161	118774		RING POWER CORPORATION	160617	4/17/14	401-3131-536.4650	324.57
2/17/14	132488	118276		TRAIL SAW & MOWER SERVICE, INC.	160629	4/17/14	401-3131-536.4650	86.29
Subtotal for 401-3131-536.4650								485.86
3/20/14	133187	118790		GRAINGER	160343	4/03/14	401-3131-536.5200	212.50
3/19/14	133147	118770		USA BLUE BOOK	160520	4/10/14	401-3131-536.5200	292.42
4/04/14	133446	118996		USA BLUE BOOK	160639	4/17/14	401-3131-536.5200	535.00
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3131-536.5200	136.48
Subtotal for 401-3131-536.5200								1,176.40
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	401-3141-533.3400	131.67
Subtotal for 401-3141-533.3400								131.67
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	401-3141-533.4100	32.72
12/01/13	129636	116228		VERIZON WIRELESS	160522	4/10/14	401-3141-533.4100	74.98
Subtotal for 401-3141-533.4100								107.70
4/08/14	133492	119040		UNITED PARCEL SERVICE	160635	4/17/14	401-3141-533.4200	4.76
Subtotal for 401-3141-533.4200								4.76
4/17/14	133725			DUKE ENERGY	160567	4/17/14	401-3141-533.4300	301.47
4/17/14	133726			DUKE ENERGY	160567	4/17/14	401-3141-533.4300	80.34
4/15/14	133651	119160		ORANGE COUNTY ENVIRONMENTAL LLC	160601	4/17/14	401-3141-533.4300	166.50
Subtotal for 401-3141-533.4300								548.31
4/02/14	133380	118946		FLORIDA CENTRAL RAILROAD	160444	4/10/14	401-3141-533.4400	225.00
4/02/14	133378	118945		FLORIDA CENTRAL RAILROAD	160444	4/10/14	401-3141-533.4400	824.92
Subtotal for 401-3141-533.4400								1,049.92
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3141-533.4600	74.00
Subtotal for 401-3141-533.4600								74.00
2/03/14	132145	118064		DON REID FORD	160329	4/03/14	401-3141-533.4650	114.53
2/03/14	132149	118068		GLENN JOINER & SON, INC.	160451	4/10/14	401-3141-533.4650	27.69
3/05/14	132881	118580		MILLIKAN BATTERY & ELECTRIC	160471	4/10/14	401-3141-533.4650	145.00
2/17/14	132474	118263		AMERICAN WIRE & TERMINAL	160413	4/10/14	401-3141-533.4650	108.63
Subtotal for 401-3141-533.4650								395.85
4/08/14	133481	119028		SUNSHINE STATE ONE CALL OF FL.INC.	160507	4/10/14	401-3141-533.4900	438.56
Subtotal for 401-3141-533.4900								438.56
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3141-533.5100	28.43
Subtotal for 401-3141-533.5100								28.43
3/24/14	133223	118837		LAKE JEM FARMS INC.	160356	4/03/14	401-3141-533.5200	128.00
3/11/14	132972	118642		LOWE'S	160359	4/03/14	401-3141-533.5200	78.13
3/13/14	133044	118691		ORLANDO PAVING CO	160373	4/03/14	401-3141-533.5200	54.99
3/10/14	132954	118632		SENSUS METERING SYSTEMS	160389	4/03/14	401-3141-533.5200	219.62
3/20/14	133187	118790		GRAINGER	160343	4/03/14	401-3141-533.5200	212.50
3/27/14	133288	118884		UNIVERSAL ENGINEERING SCIENCES, I	160519	4/10/14	401-3141-533.5200	250.70
4/09/14	133522			PUBLIC SERVICES PETTY CASH	160490	4/10/14	401-3141-533.5200	29.09
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3141-533.5200	10.57
3/24/14	133230	118843		ORLANDO PAVING CO	160484	4/10/14	401-3141-533.5200	54.45
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160485	4/10/14	401-3141-533.5200	10.60
3/28/14	133299	118891		USA BLUE BOOK	160639	4/17/14	401-3141-533.5200	271.90
4/04/14	133435	118988		RYAN BROTHERS, INC.	160619	4/17/14	401-3141-533.5200	56.25
4/08/14	133493	119041		BLUETARP FINANCIAL INC	160545	4/17/14	401-3141-533.5200	129.99
3/21/14	133202	118800		CEMEX	160551	4/17/14	401-3141-533.5200	755.98
3/27/14	133284	118881		USA BLUE BOOK	160639	4/17/14	401-3141-533.5200	772.00
4/17/14	133729			PUBLIC SERVICES PETTY CASH	160612	4/17/14	401-3141-533.5200	2.99
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160675	4/24/14	401-3141-533.5200	2.40

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3/28/14	133312	118895		OSBURN ASSOCIATES INC	160675	4/24/14	401-3141-533.5200	183.33
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3141-533.5200	218.40
Subtotal for 401-3141-533.5200								3,441.89
3/26/14	133260	118872		H D SUPPLY WATER WORKS, LTD.	160582	4/17/14	401-3141-533.6300	2,314.25
Subtotal for 401-3141-533.6300								2,314.25
1/09/14	131655	117689		SHUMACKER, JOHNSTON & ROSS,PA	160500	4/10/14	401-3161-533.3200	14,470.00
Subtotal for 401-3161-533.3200								14,470.00
4/02/14	133399	119010		INFORMATION MANAGEMENT SERVICE	160461	4/10/14	401-3161-533.4600	1,183.50
10/01/13	129436	119225		SENSUS METERING SYSTEMS	160678	4/24/14	401-3161-533.4600	6,614.00
Subtotal for 401-3161-533.4600								7,797.50
10/16/13	129992	116480		STAPLES ADVANTAGE	160394	4/03/14	401-3161-533.5100	63.19
10/16/13	129992	116480		STAPLES ADVANTAGE	160505	4/10/14	401-3161-533.5100	25.95
10/01/13	129430	116056		OFFICE DEPOT	160480	4/10/14	401-3161-533.5100	296.43
10/01/13	129432	116058		CAPITAL OFFICE PRODUCTS	160548	4/17/14	401-3161-533.5100	57.80
Subtotal for 401-3161-533.5100								443.37
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	401-3171-535.3400	66.67
Subtotal for 401-3171-535.3400								66.67
3/27/14	133293	118888		NEXTEL COMMUNICATIONS	160367	4/03/14	401-3171-535.4100	32.73
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3171-535.4100	10.57
Subtotal for 401-3171-535.4100								43.30
4/17/14	133726			DUKE ENERGY	160567	4/17/14	401-3171-535.4300	53.56
Subtotal for 401-3171-535.4300								53.56
1/14/14	131713	117734		GENSET SERVICES INC.	160341	4/03/14	401-3171-535.4600	8,280.00
3/26/14	133266	118876		GENSET SERVICES INC.	160341	4/03/14	401-3171-535.4600	1,723.00
1/29/14	132052	117992		TESSCO INCORPORATED	160628	4/17/14	401-3171-535.4600	188.98
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3171-535.4600	74.00
Subtotal for 401-3171-535.4600								10,265.98
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3171-535.5100	7.15
Subtotal for 401-3171-535.5100								7.15
3/11/14	132972	118642		LOWE'S	160359	4/03/14	401-3171-535.5200	78.13
3/10/14	132962	118638		H D SUPPLY WATER WORKS, LTD.	160344	4/03/14	401-3171-535.5200	240.00
3/05/14	132888	118589		GRAINGER	160454	4/10/14	401-3171-535.5200	1,146.83
3/17/14	133085	118726		HARRINGTON INDUSTRIAL PLASTICS LL	160457	4/10/14	401-3171-535.5200	78.48
4/09/14	133522			PUBLIC SERVICES PETTY CASH	160490	4/10/14	401-3171-535.5200	19.86
3/24/14	133239	118851		NORTHERN SAFETY CO.,INC.	160600	4/17/14	401-3171-535.5200	150.93
4/08/14	133493	119041		BLUETARP FINANCIAL INC	160545	4/17/14	401-3171-535.5200	149.91
3/27/14	133289	118885		EVOQUA WATER TECHNOLOGIES LLC	160569	4/17/14	401-3171-535.5200	6,152.50
3/21/14	133202	118800		CEMEX	160551	4/17/14	401-3171-535.5200	755.98
3/28/14	133312	118895		OSBURN ASSOCIATES INC	160675	4/24/14	401-3171-535.5200	183.33
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3171-535.5200	109.24
Subtotal for 401-3171-535.5200								9,065.19
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3181-536.4600	74.00
Subtotal for 401-3181-536.4600								74.00
2/17/14	132474	118263		AMERICAN WIRE & TERMINAL	160413	4/10/14	401-3181-536.4650	27.16
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	401-3181-536.4650	79.95
Subtotal for 401-3181-536.4650								107.11
3/26/14	133258	118870		PRO-CHEM,INC.	160489	4/10/14	401-3181-536.5200	229.50
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	401-3181-536.5200	37.21
Subtotal for 401-3181-536.5200								266.71
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	401-3410-539.4100	5.29
Subtotal for 401-3410-539.4100								5.29

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4/17/14	133726			DUKE ENERGY	160567	4/17/14	401-3410-539.4300	26.78
4/17/14	133725			DUKE ENERGY	160567	4/17/14	401-3410-539.4300	349.73
Subtotal for 401-3410-539.4300								376.51
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	401-3410-539.4600	74.00
Subtotal for 401-3410-539.4600								74.00
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	401-3410-539.5100	69.99
Subtotal for 401-3410-539.5100								69.99
Subtotal for Fund 401 WATER AND WASTEWATER OPERATING FUND								305,723.44
4/14/14	133635	119149		CAPITAL CONTRACTORS INC.	160547	4/17/14	402-3210-534.3400	66.66
Subtotal for 402-3210-534.3400								66.66
4/03/14	133404	118964		AMERICAN MESSAGING	160412	4/10/14	402-3210-534.4100	15.86
Subtotal for 402-3210-534.4100								15.86
3/11/14	132971	118641		MAGNETIC ATTRACTION INC.	160360	4/03/14	402-3210-534.4200	32.00
Subtotal for 402-3210-534.4200								32.00
3/25/14	133244	118856		WASTE MANAGEMENT OF VISTA LANDF	160405	4/03/14	402-3210-534.4300	9,150.90
4/08/14	133485	119031		OCU - SOLID WASTE DIVISION	160478	4/10/14	402-3210-534.4300	64,169.88
4/17/14	133726			DUKE ENERGY	160567	4/17/14	402-3210-534.4300	80.35
4/08/14	133505	119048		WASTE MANAGEMENT OF VISTA LANDF	160644	4/17/14	402-3210-534.4300	10,665.82
Subtotal for 402-3210-534.4300								84,066.95
4/14/14	133611	119127		GREENLEAF COMPACTION, INC.	160581	4/17/14	402-3210-534.4400	210.00
Subtotal for 402-3210-534.4400								210.00
3/18/14	133121	118747		DIAMOND FENCE COMPANY, INC.	160559	4/17/14	402-3210-534.4600	74.00
Subtotal for 402-3210-534.4600								74.00
2/17/14	132484	118272		PIRTEK ALTAMONTE SPRINGS	160376	4/03/14	402-3210-534.4650	245.17
3/06/14	132916	118601		FASTENAL COMPANY	160438	4/10/14	402-3210-534.4650	42.78
2/17/14	132482	118270		NEXTRAN TRUCK CENTER - ORLANDO	160476	4/10/14	402-3210-534.4650	1,319.78
2/24/14	132633	118391		A.O.K. TIRE MART	160408	4/10/14	402-3210-534.4650	355.00
3/20/14	133167	118780		TAMPA CRANE & BODY, INC.	160508	4/10/14	402-3210-534.4650	1,450.41
3/20/14	133191	118792		FORGE FASTENER & SUPPLY CO,	160449	4/10/14	402-3210-534.4650	40.36
3/05/14	132875	118574		GRAINGER	160454	4/10/14	402-3210-534.4650	40.98
3/25/14	133255	118867		LOUIS E. SNYDER	160468	4/10/14	402-3210-534.4650	2,478.97
2/17/14	132474	118263		AMERICAN WIRE & TERMINAL	160413	4/10/14	402-3210-534.4650	5.90
4/07/14	133471	119023		MILLIKAN BATTERY & ELECTRIC	160471	4/10/14	402-3210-534.4650	1,300.00
3/20/14	133162	118775		CARQUEST AUTO PARTS	160424	4/10/14	402-3210-534.4650	114.06
4/07/14	133466	119019		TAMPA CRANE & BODY, INC.	160508	4/10/14	402-3210-534.4650	1,429.30
3/11/14	132995	118659		TPH ACQUISITION LLLP	160512	4/10/14	402-3210-534.4650	132.41
4/02/14	133383	118948		FLORIDA POWERTRAIN & HYDRAULICS	160447	4/10/14	402-3210-534.4650	63.94
3/07/14	132942	118619		TAMPA CRANE & BODY, INC.	160626	4/17/14	402-3210-534.4650	4,452.80
4/10/14	133552	119075		GRAPHIC SOURCE OF CENTRAL FLORII	160580	4/17/14	402-3210-534.4650	18.00
2/19/14	132559	118349		A.O.K. TIRE MART	160530	4/17/14	402-3210-534.4650	1,433.13
3/11/14	132998	118662		TAMPA CRANE & BODY, INC.	160626	4/17/14	402-3210-534.4650	4,452.80
4/02/14	133388	118953		LOUIS E. SNYDER	160591	4/17/14	402-3210-534.4650	1,540.36
4/09/14	133537	119067		TAMPA CRANE & BODY, INC.	160626	4/17/14	402-3210-534.4650	3,069.82
Subtotal for 402-3210-534.4650								23,985.97
4/01/14	133340	118915		LABOR READY SOUTHEAST, INC.	160354	4/03/14	402-3210-534.4903	2,861.20
3/25/14	133246	118858		LABOR READY SOUTHEAST, INC.	160354	4/03/14	402-3210-534.4903	2,488.00
4/08/14	133484	119030		LABOR READY SOUTHEAST, INC.	160463	4/10/14	402-3210-534.4903	2,985.60
Subtotal for 402-3210-534.4903								8,334.80
3/13/14	133053	118696		OFFICE DEPOT	160480	4/10/14	402-3210-534.5100	53.28
Subtotal for 402-3210-534.5100								53.28
3/11/14	132971	118641		MAGNETIC ATTRACTION INC.	160360	4/03/14	402-3210-534.5200	450.00

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By Account Number, Paid 3/28/14 thru 4/28/14

Date	Reference	P. O.	Project	Vendor	Check	Paid	Account Number	Amount
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160485	4/10/14	402-3210-534.5200	10.60
4/14/14	133608	119124		ORANGE COUNTY TAX COLLECTOR	160602	4/17/14	402-3210-534.5200	86.10
4/14/14	133642	119155		PALMQUIST, SHERYL	160604	4/17/14	402-3210-534.5200	250.28
3/26/14	133263	118873		OSBURN ASSOCIATES INC	160675	4/24/14	402-3210-534.5200	2.40
4/16/14	133680	119188		ARAMARK UNIFORM SERVICES, INC.	160653	4/24/14	402-3210-534.5200	269.24
Subtotal for 402-3210-534.5200								1,068.62
4/24/14	133839			NEXTRAN TRUCK CENTER - ORLANDO	160672	4/24/14	402-3210-534.6400	293,337.35
Subtotal for 402-3210-534.6400								293,337.35
Subtotal for Fund 402 SANITATION								411,245.49
4/17/14	133724		20130001	UNIVERSAL ENGINEERING SCIENCES, I	160638	4/17/14	403-3113-533.6300	2,250.00
Subtotal for 403-3113-533.6300								2,250.00
3/03/14	132780	118520	20130009	ORLANDO PAVING CO	160373	4/03/14	403-3115-535.6300	491.69
3/03/14	132784	118515	201300009	CEMEX	160425	4/10/14	403-3115-535.6300	808.33
4/16/14	133677		20130003	AECOM COMPANY	160532	4/17/14	403-3115-535.6300	19,771.91
Subtotal for 403-3115-535.6300								21,071.93
1/09/14	131655	117689		SHUMACKER, JOHNSTON & ROSS,PA	160500	4/10/14	403-3133-536.3200	1,305.00
Subtotal for 403-3133-536.3200								1,305.00
1/29/14	132052	117992		TESSCO INCORPORATED	160628	4/17/14	403-8019-536.3100	430.70
Subtotal for 403-8019-536.3100								430.70
Subtotal for Fund 403 WATER, WASTEWATER AND REUSE IMPACT FEES								25,057.63
Grand Total								2,568,440.13

Backup material for agenda item:

1. ORDINANCE NO. 2359 – FIRST READING - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Jeffrey B. Randazzo, from “County” Rural (1 du/1 ac) to “City” Residential High (0-15 du/ac), for property located north of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Drive and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-078)



**CITY OF APOPKA
CITY COUNCIL**

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Ordinance

DATE: May 7, 2014
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Ordinance No. 2359

SUBJECT: ORDINANCE NO. 2359 – COMPREHENSIVE PLAN AMENDMENT – SMALL SCALE - FUTURE LAND USE – JEFFREY B. RANDAZZO - FROM “COUNTY” RURAL (1 DU/1 AC) TO “CITY” RESIDENTIAL HIGH (0-15 DU/AC)

Request: FIRST READING OF ORDINANCE NO. 2359 – COMPREHENSIVE PLAN AMENDMENT – SMALL SCALE - FUTURE LAND USE – JEFFREY B. RANDAZZO - FROM “COUNTY” RURAL (1 DU/1 AC) TO “CITY” RESIDENTIAL HIGH (0-15 DU/AC); PARCEL ID NO. 22-21-28-0000-00-078; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY

OWNER: Jeffrey B. Randazzo
APPLICANT: Tallman Development, c/o Ed Hampden
LOCATION: North of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Road and west of South Sheeler Avenue
EXISTING USE: Vacant Land
CURRENT ZONING: “County” A-1
PROPOSED DEVELOPMENT: Residential Development
PROPOSED ZONING: “City” R-3 Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” A-1 to “City” R-3.)
TRACT SIZE: 3.5 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 3 Units
PROPOSED: 53 Units

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
CAO Richard Anderson
City Dev. Dir.
Finance Dir.
HR Director
IT Director
Police Chief
Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on April 2, 2014, through the adoption of Ordinance No. 2352. The proposed Small-Scale Future Land Use Amendment is being requested by the applicant, Tallman Development. The applicant has the subject parcel under contract to purchase. Although under separate corporate names, the adjacent parcels are owned by entities that also own Tallman Development. Abutting to the north and to the east, respectively, are parcels approximately forty-five (45) acres in size. By pulling the Randazzo parcel into the larger parcel, Tallman Development will create a more compact development site at its southwestern corner of its proposed future residential development.

Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a R-3 zoning category to the Property is being processed in conjunction with this future land use amendment request for a Residential High designation. The zoning application covers approximately 3.5 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential High Future Land Use designation and the City’s proposed R-3 Zoning designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT:

Staff has notified Orange County Public Schools (OCPS) of the proposed Future Land Use Map Amendment. The Future Land Use change to Residential High Density represents a higher impact on public school capacity than that created by the County Future Land Use assigned to the property. This Future Land Use amendment is subject to school capacity enhancement review; however, the applicant will address capacity enhancement with OCPS for the entire development project. School concurrency will apply at the time of a subdivision plan application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 7, 2014.

PUBLIC HEARING SCHEDULE:

- April 8, 2014 – Planning Commission (5:01 pm)
- May 7, 2014 – City Council (1:30 pm) - 1st Reading
- May 21, 2014 – City Council (8:00 pm) - 2nd Reading

DULY ADVERTISED:

- March 21, 2014 – Public Notice and Notification
- April 18, 2014 – Public Notice and Notification
- May 9, 2014 – Ordinance Heading Ad
- May 16, 2014 – ¼ Page w/map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Future Land Use from “County” Rural (1 du/1 ac) to “City” Residential High (0-15 du/ac) for the property owned by Jeffrey B. Randazzo.

The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the change in Future Land Use from “County” Rural (1 du/1 ac) to “City” Residential High (0-15 du/ac) for the property owned by Jeffrey B. Randazzo.

Accept the First Reading of Ordinance No. 2359 and Hold it Over for Second Reading and Adoption on May 21, 2014.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
East (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
South (City)	Agricultural (1 du/10 ac)	AG	Nursery
West (City)	“County” Agricultural (1 du/5 ac)	“County” A-1	S.R. 414 (Apopka Expressway)

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with this development of high density residential. S.R. 414, a limited access toll road, abuts the property to its south, and an entrance and exit to S.R. 414 is directly south of the site. A Future Land Use Designation of High Density Residential presently is assigned to the parcels abutting to the north and east.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core Area” of the JPA. The proposed FLUM Amendment request a change from “County” Rural (1 du/1 ac) to “City” Residential High (0-15 du/ac) is consistent with the terms of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts North Keene Road. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and is level.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.h High Density Residential Future Land Use designation, and the Joint Planning Agreement with Orange County.

Analysis of the relationship of the amendment to the population projections: This property was annexed into the City on April 2, 2014. The proposed future land use designation for the Property is Residential High (0-15 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 3 Unit(s) x 2.659 p/h = 8 persons
PROPOSED (City designation): 53 Unit(s) x 2.659 p/h = 141 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; N/A GPD/Capita; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD

3. Projected total demand under proposed designation: 10388 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita

7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: Private Well; N/A GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider:

City of Apopka

2. Projected total demand under existing designation: 454 GPD
3. Projected total demand under proposed designation: 24062 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 12 lbs./person/day
4. Projected LOS under proposed designation: 564 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 mil. GPD

Total design capacity of the water treatment plant(s): 33,696 mil. GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 24 hour design storm
3. Projected LOS under proposed designation: 100 year - 24 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

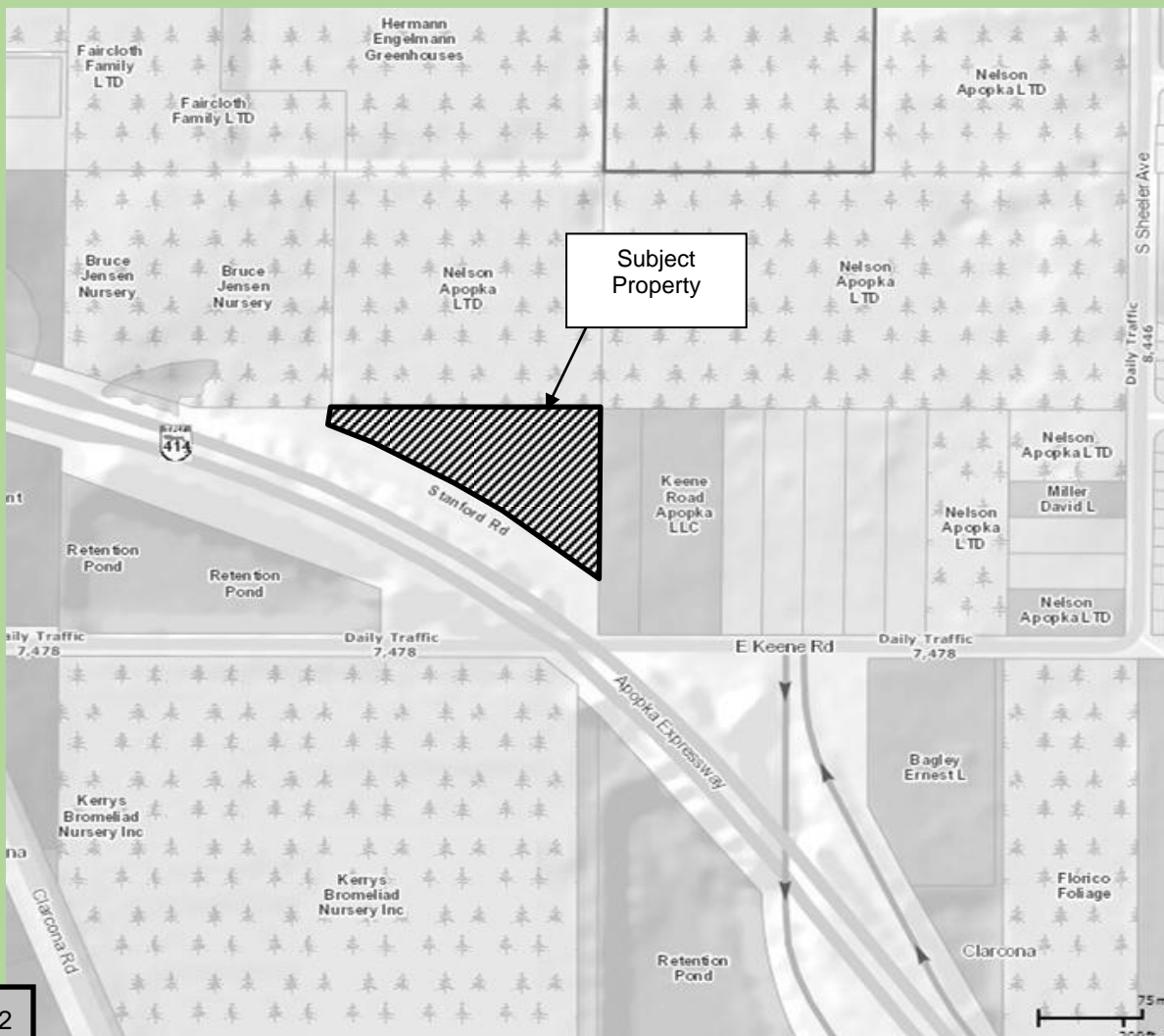
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.009 AC
3. Projected facility under proposed designation: 0.423 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

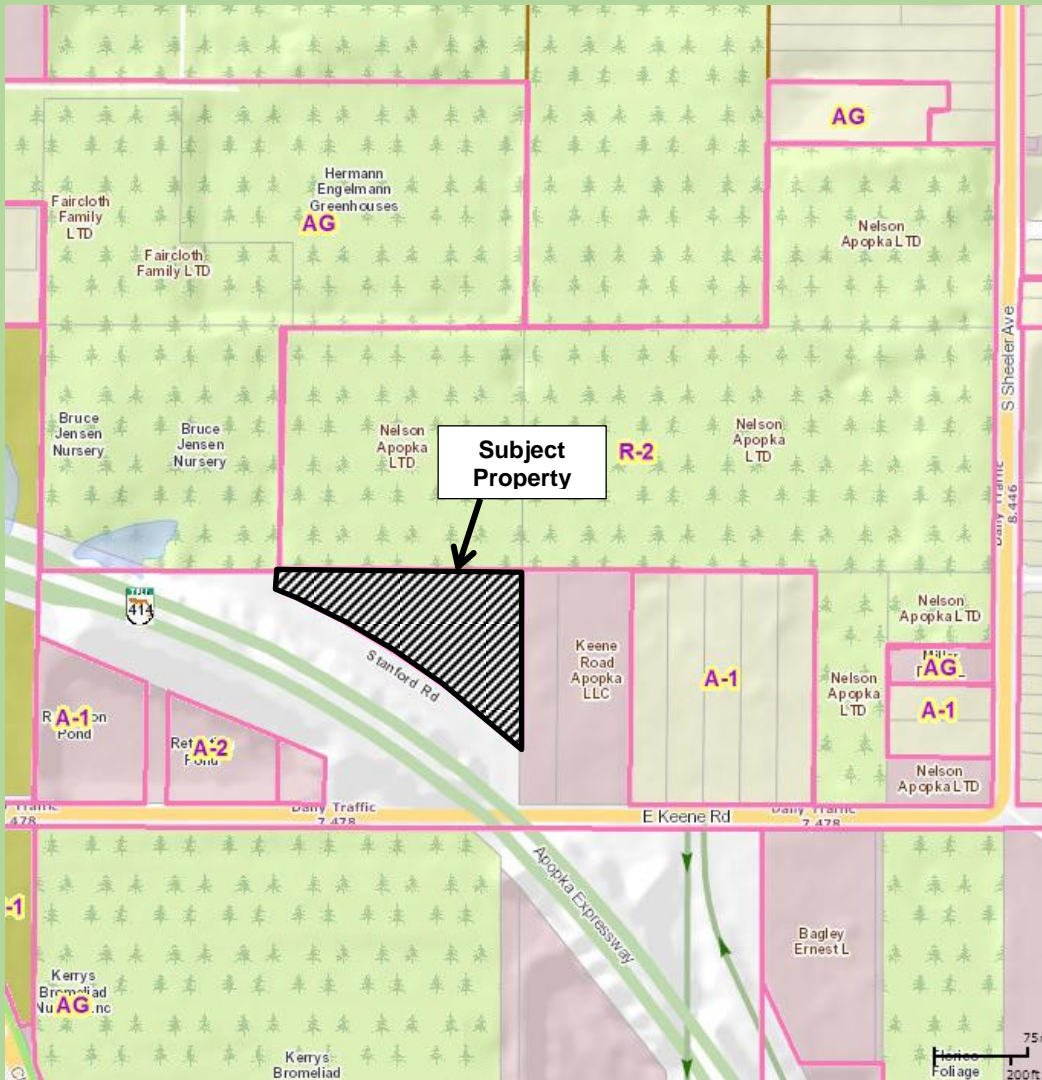
Jeffrey B. Randazzo
3.5 +/- Acres
Existing Maximum Allowable Development: 3 Units
Proposed Maximum Allowable Development: 53 Units
Proposed Future Land Use Change
From: "County" Rural (1 du/1 ac)
To: "City" Residential High (0-15 du/ac)
Proposed Zoning Change
From: "County" A-1
To: "City" R-3
Parcel ID #: 22-21-28-0000-00-078



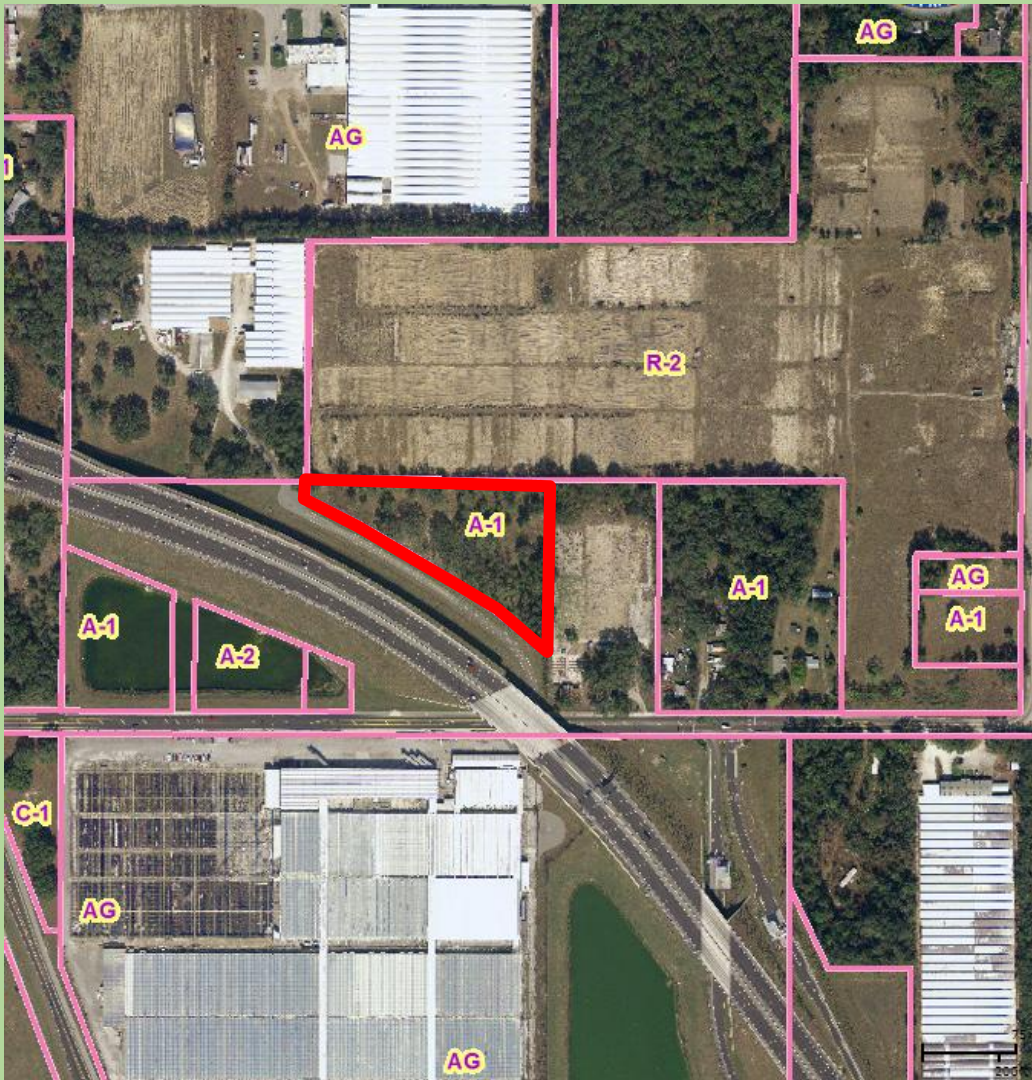
VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2359

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” RURAL (1 DU/1 AC) TO “CITY” RESIDENTIAL HIGH DENSITY (0-15 DU/AC) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF S.R. 414 (APOPKA EXPRESSWAY) AND KEENE ROAD, EAST OF STANFORD DRIVE AND WEST OF SOUTH SHEELER AVENUE COMPRISING 3.5 ACRES MORE OR LESS, AND OWNED BY JEFFREY B. RANDAZZO; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2356 on April 2, 2014; and

WHEREAS, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. Purpose and Intent.

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

Section II. Future Land Use Element.

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2356, is amended in its entirety to change the land use from “County” Rural (1 du/1 ac) to “City” Residential High Density (0-15 du/ac) for certain real property generally located north of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Drive, and west of South Sheeler Avenue, comprising 3.5 acres more or less (Parcel No.: 22-21-28-0000-00-078); as further described in Exhibit “A” attached hereto.

Section III. Applicability and Effect.

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

Section IV. Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section V. The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance and shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section VI. Effective Date.

This Ordinance shall become effective upon adoption.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this _____ day of _____, 2014.

READ FIRST TIME: May 7, 2014

READ SECOND TIME
AND ADOPTED: May 21, 2014

Joseph E. Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING:

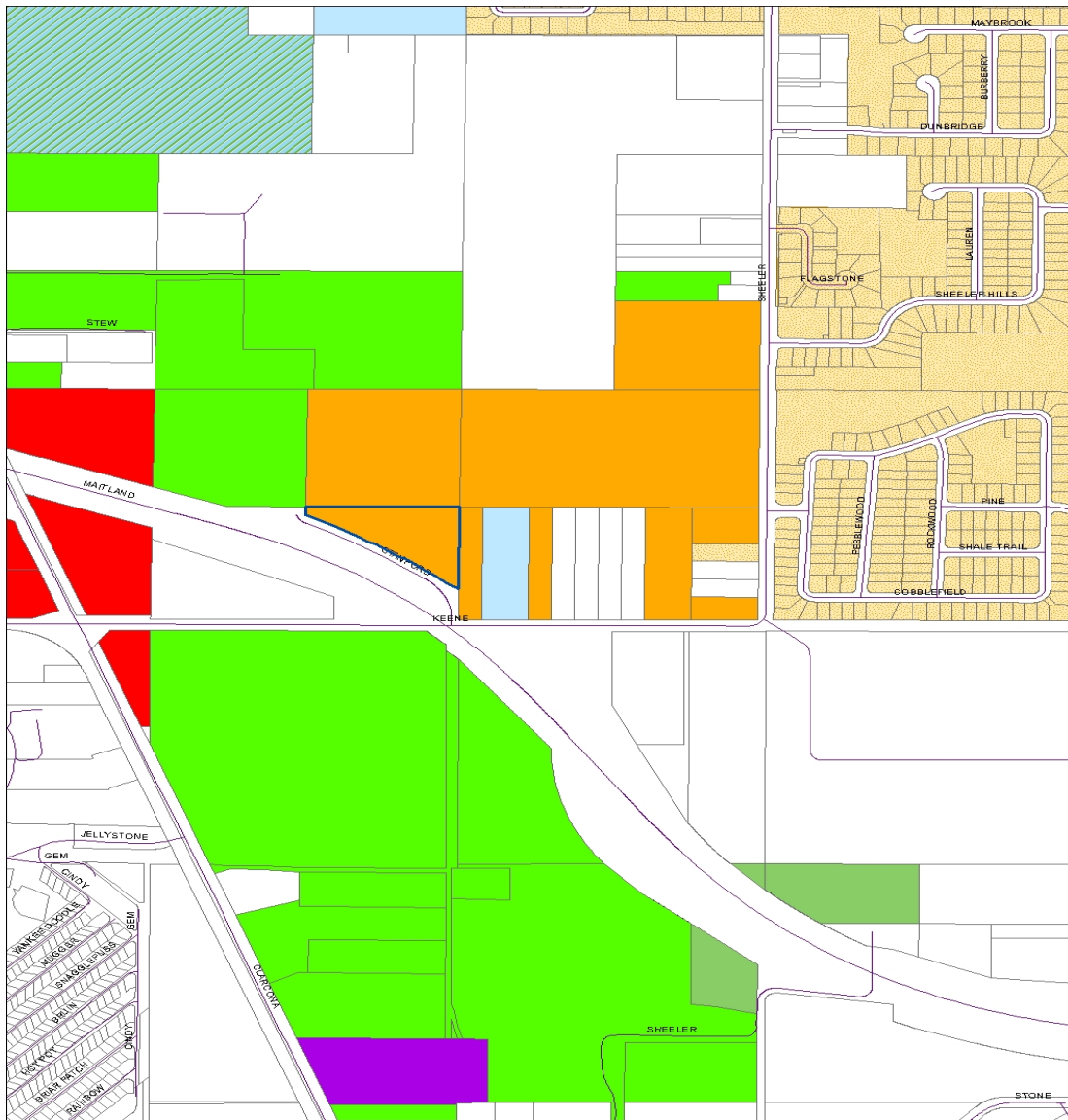
March 21, 2014
April 18, 2014
May 9, 2014
May 16, 2014

EXHIBIT "A"

ORDINANCE NO. 2359

Jeffrey B. Randazzo
3.5 +/- Acres

Existing Maximum Allowable Development: 3 Units
Proposed Maximum Allowable Development: 53 Units
Proposed Future Land Use Change
From: "County" Rural (1 du/1 ac)
To: "City" Residential High (0-15 du/ac)
Parcel ID #: 22-21-28-0000-00-078



DATE APR. 2014

Legend

— Apopka_Streets_031414	LAND_USE	AG-HOME	IND	PR	RLS
□ Apopka_Parcels_031414	AG	ANNEX	INST_PU	RE	RM
FLU_080712_EP2	AG-E	COMM	MU	RH	RML
□ (all other values)	AG-E	CONSV	OFF	RL	RS
				RVLS	

DISCLAIMER
The data on this map cannot be guaranteed and is subject to change without notice.



Information
Technology
Department
407-703-1722



FLU_2014

Backup material for agenda item:

2. ORDINANCE NO. 2360 – FIRST READING - CHANGE OF ZONING – Jeffrey B. Randazzo, from “County” A-1 to “City” R-3, for property located north of S.R. 414 (Apopka Expressway) and Keene Road, east of Stanford Drive and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-078)

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on April 2, 2014, through the adoption of Ordinance No. 2352. The proposed Change of Zoning is being requested by the applicant, Tallman Development. The applicant has the subject parcel under contract to purchase. Although under separate corporate names, the adjacent parcels are owned by entities that also own Tallman Development. Abutting to the north and to the east, respectively, are parcels approximately forty-five (45) acres in size. By pulling the Randazzo parcel into the larger parcel, Tallman Development will create a more compact development site at its southwestern corner of its proposed future residential development.

A request to assign a “City” Residential High (0-15 du/ac) Future Land Use category to the Property is being processed in conjunction with this change of zoning for a R-3 designation. The zoning application covers approximately 3.5 acres. The property owner intends to use the site for a residential development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this change of zoning (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed R-3 zoning designation is consistent with the proposed Residential High (0-15 du/ac) future land use designation and the existing use of the property. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT:

Staff has notified Orange County Public Schools (OCPS) of the proposed Change of Zoning. The Change of Zoning to R-3 represents a higher impact on public school capacity than that created by the current zoning designation assigned to the property; however, the applicant will address capacity enhancement with OCPS for the entire development project. This Change of Zoning is subject to school capacity enhancement review. School concurrency will apply at the time of a subdivision plan application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 7, 2014.

PUBLIC HEARING SCHEDULE:

April 8, 2014 – Planning Commission (5:01 pm)
May 7, 2014 – City Council (1:30 pm) - 1st Reading
May 21, 2014 – City Council (8:00 pm) - 2nd Reading

DULY ADVERTISED:

March 21, 2014 – Public Notice and Notification
April 18, 2014 – Public Notice and Notification
May 9, 2014 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from “County” A-1 to “City” R-3 for the property owned by Jeffrey B. Randazzo.

The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the change in zoning from “County” A-1 to “City” R-3 for the property owned by Jeffrey B. Randazzo.

Accept the First Reading of Ordinance No. 2360, and Hold it Over for Second Reading and Adoption on May 21, 2014.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
East (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
South (City)	Agricultural (1 du/10 ac)	AG	Nursery
West (City)	“County” Rural (1 du/10 ac)	“County” A-1	S.R. 414 (Apopka Expressway)

LAND USE & TRAFFIC COMPATIBILITY:

The Property has access to a Collector roadway (East Keene Road). Situated less than one hundred and fifty feet from the S.R. 414 toll way entrance. The Property allows easy access to a regional highway that leads to I-4, S.R. 429/S.R. 451, and U.S. 441. The proposed change of zoning is being requested by the applicant, Tallman Development. The applicant has the subject parcel under contract to purchase. Although under separate corporate names, the adjacent parcels are owned by the entities that own Tallman Development. Abutting to the north and to the east, approximately forty-five (45) acres are owned by corporations under the control of Tallman Development. By pulling the Randazzo parcel into the larger parcel, Tallman Development will create a more compact development site at its southwestern corner of its proposed future residential development.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-3 (Multi-Family Residential) zoning is consistent with the City’s Residential High Density Future Land Use Designation, which allows up to 15 units per acre. Development plans shall not exceed the density allowed under the adopted future land use designation.

R-3 DISTRICT REQUIREMENTS:

The R-3 zoning category allows single-family, duplex, and multi-family residential development. Development requirements specific to each of these three development options are established within the Land Development Code. The applicant has indicated an interest to pursue multi-family development based on the residential market. Minimum development standards for multi-family are listed for the R-3 zoning category:

- Minimum Living Sq. Ft.:
 - Apartments - 750 sq. ft.
 - Condo/Townhomes - 1,350 sq. ft.
- Minimum Site Area: one (1) acre.
- Minimum Lot Width: 120 ft.
- Setbacks:
 - Front: 50 ft. between buildings
 - Rear: 50 ft. between buildings
 - Side: 20 ft. between structures
 - Corner: 25 ft.

**BUFFER-YARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum six- (6') foot high brick, stone or decorative finished block wall erected inside a minimum ten (10) foot wide landscaped buffer-yard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall.

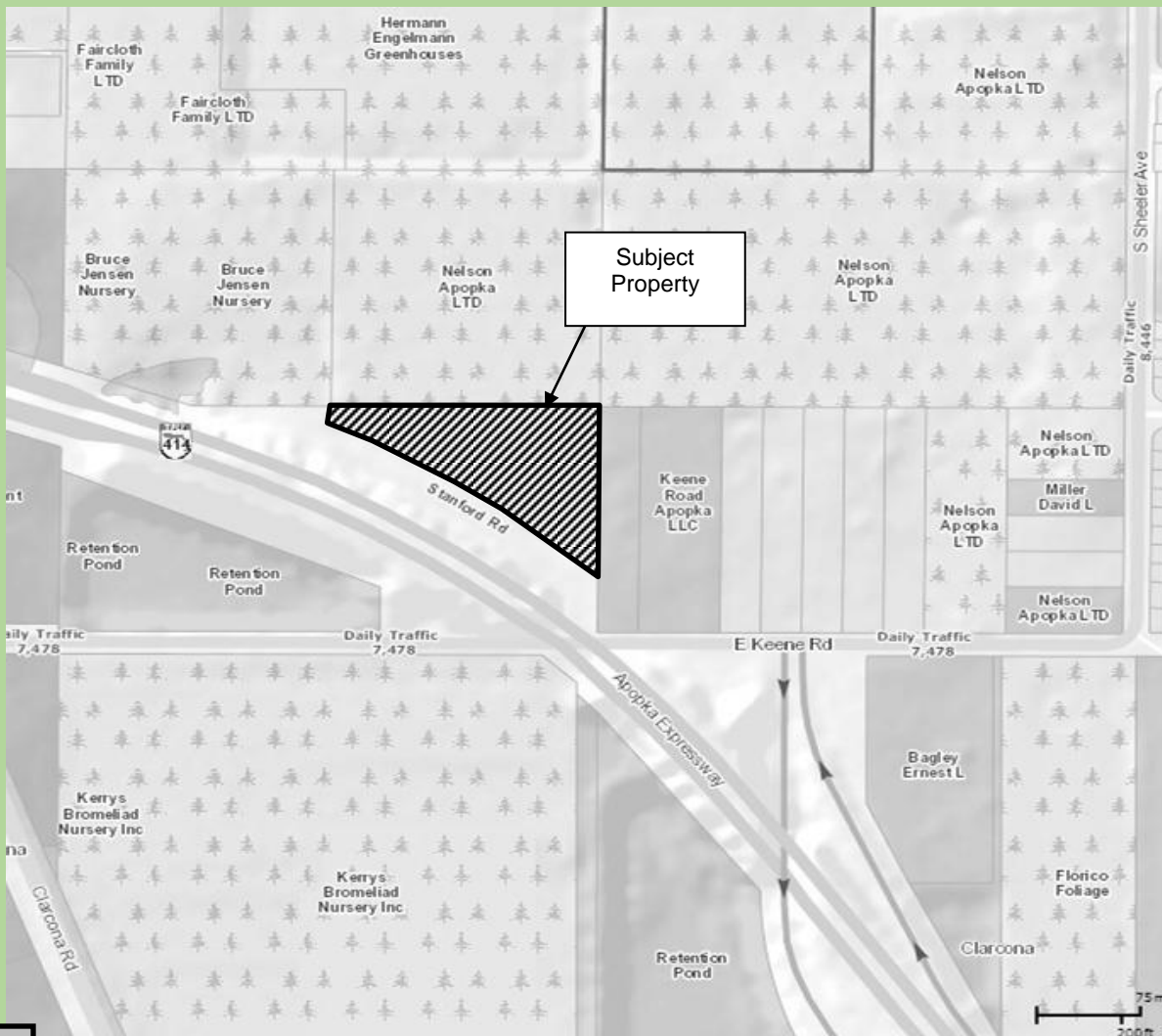
ALLOWABLE USES:

Multi-family development up to 15 units per acre, duplex, or single family residential subject to Section 2.02.07 of the Land Development Code.

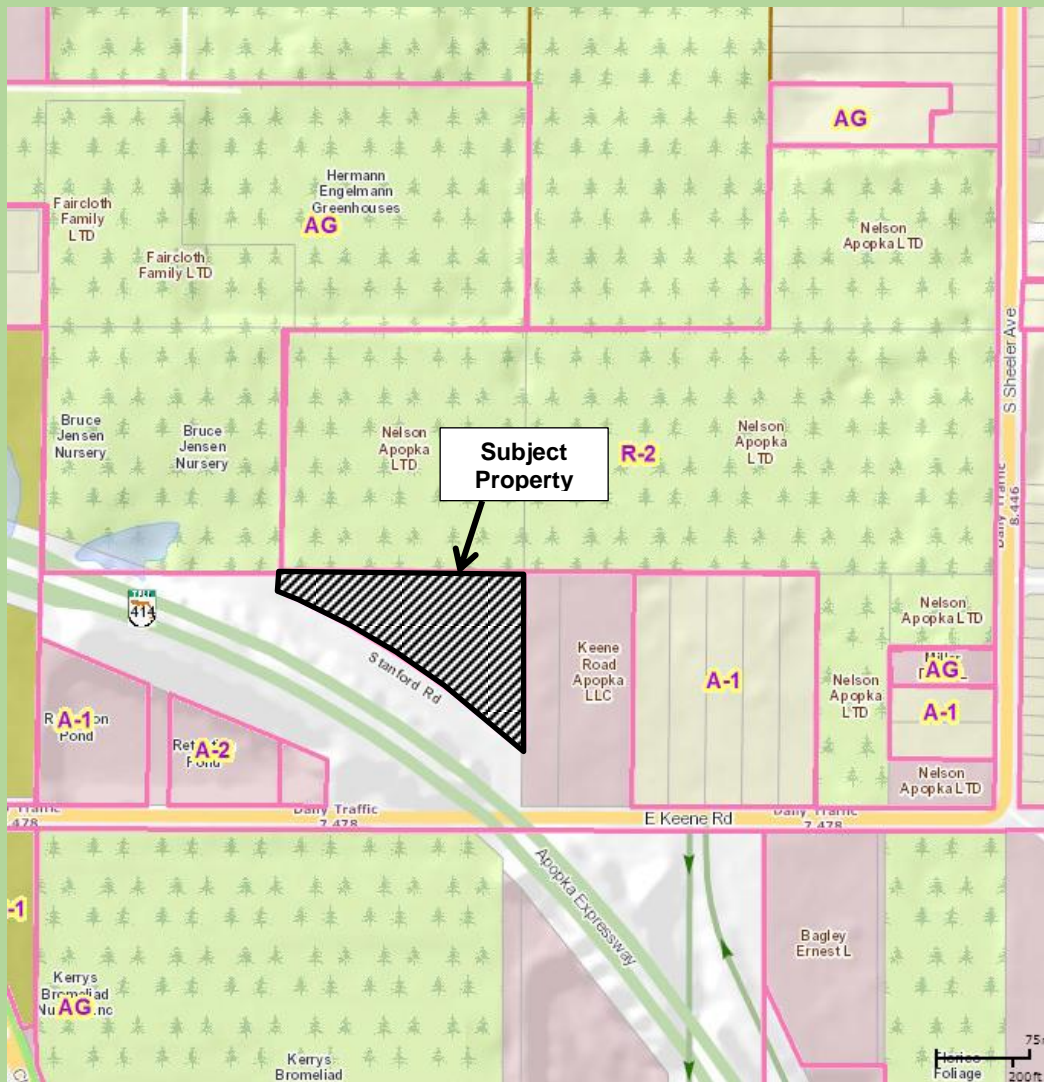
Jeffrey B. Randazzo
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Proposed Zoning Change
From: "County" A-1
To: "City" R-3
Parcel ID #: 22-21-28-0000-00-078



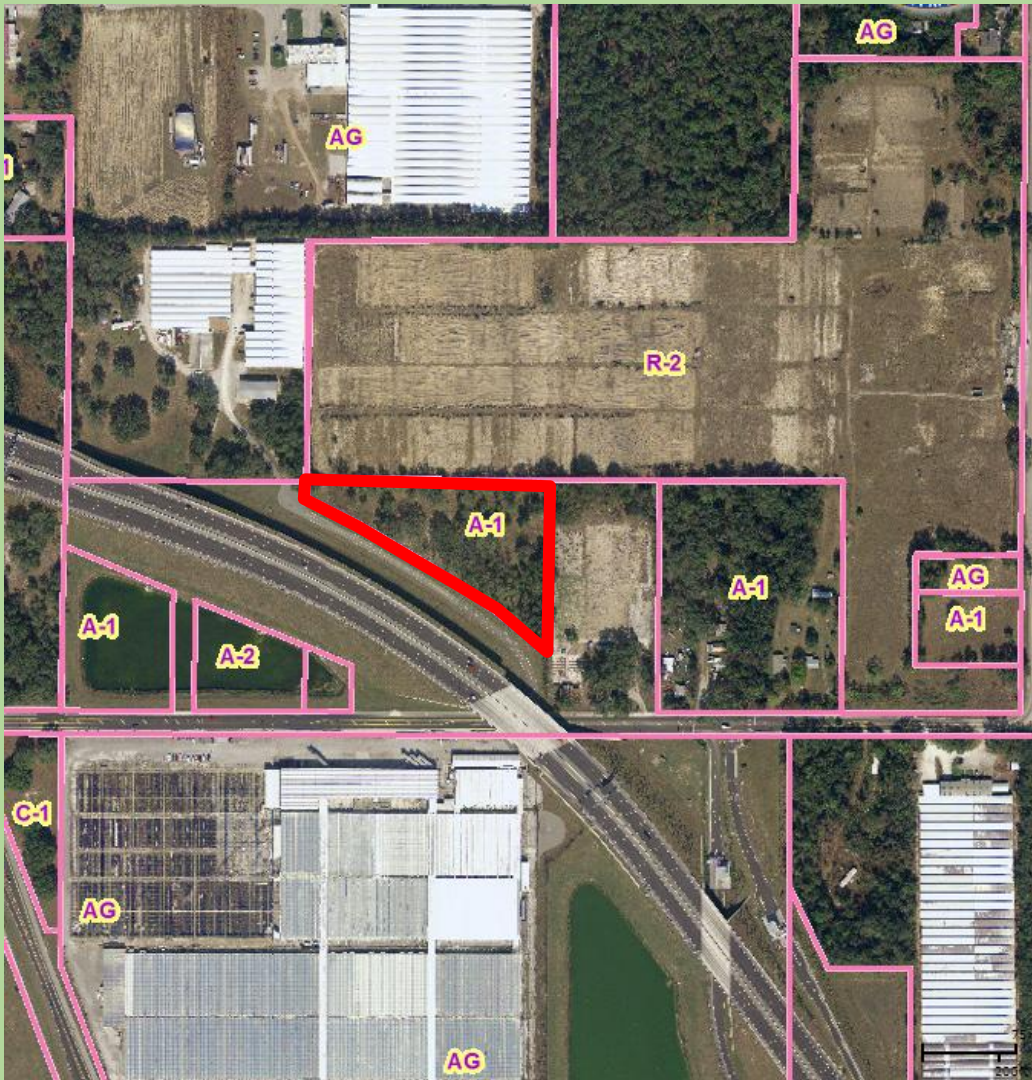
VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2360

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 TO “CITY” R-3 FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF S.R. 414 (APOPKA EXPRESSWAY) AND KEENE ROAD, EAST OF STANFORD DRIVE, AND WEST OF SOUTH SHEELER AVENUE, COMPRISING 3.5 ACRES MORE OR LESS, AND OWNED BY JEFFREY B. RANDAZZO; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed R-3 zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby R-3 As defined in the Apopka Land Development Code.

Legal Description:

The Southeast ¼ of the Southwest ¼ of the Southeast ¼ of Section 22, Township 21 South, Range 28 East, Orange County, Florida, LESS the road right-of-way on the South, LESS that portion taken by the Order of Taking recorded in Official Records Book 8997, page 1835, Public Records of Orange County, Florida.

Parcel I.D. # 22-21-28-0000-00-078
3.5 +/- acres

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation. The Community Development Director shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

ORDINANCE NO. 2360

PAGE 2

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon the effective date of City of Apopka Ordinance No. 2359.

READ FIRST TIME: May 7, 2014

READ SECOND TIME
AND ADOPTED: May 21, 2014

Joseph E. Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING:

March 21, 2014
April 18, 2014
May 9, 2014

Backup material for agenda item:

3. ORDINANCE NO. 2361 – FIRST READING - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Robert Roach, from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac), for property located north of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-114)



**CITY OF APOPKA
CITY COUNCIL**

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Ordinance

DATE: May 7, 2014
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Ordinance No. 2361

SUBJECT: ORDINANCE NO. 2361 – COMPREHENSIVE PLAN AMENDMENT – SMALL SCALE - FUTURE LAND USE – ROBERT ROACH - FROM “COUNTY” RURAL (1 DU/10 AC) TO “CITY” RESIDENTIAL HIGH (0-15 DU/AC)

Request: FIRST READING OF ORDINANCE NO. 2361 – COMPREHENSIVE PLAN AMENDMENT – SMALL SCALE - FUTURE LAND USE – ROBERT ROACH - FROM “COUNTY” RURAL (1 DU/10 AC) TO “CITY” RESIDENTIAL HIGH (0-15 DU/AC); PARCEL ID NO. 22-21-28-0000-00-114; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY

OWNER: Robert Roach
APPLICANT: Tallman Development, c/o Ed Hampden
LOCATION: North of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue
EXISTING USE: Single Family Residence/Open Shed
CURRENT ZONING: “County” A-1
PROPOSED DEVELOPMENT: Residential Development
PROPOSED ZONING: “City” R-3 (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” A-1 to “City” R-3.)
TRACT SIZE: 1.5 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 1 Unit
PROPOSED: 22 Units

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.
Finance Dir.
HR Director
IT Director
Police Chief
Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on April 2, 2014, through the adoption of Ordinance No. 2351. The proposed Small-Scale Future Land Use Amendment is being requested by the applicant, Tallman Development. The applicant has the subject parcel under contract to purchase. Although under separate corporate names, the adjacent parcels are owned by entities that also own Tallman Development. Abutting to the north and to the west, respectively, are parcels approximately forty-five (45) acres in size. By pulling the Roach parcel into the larger parcel, Tallman Development will create a more compact development site at its southwestern corner of its proposed future residential development.

Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a R-3 zoning category to the Property is being processed in conjunction with this future land use amendment request for a Residential High designation. The zoning application covers approximately 1.5 acres. The property owner intends to use the site for a residential development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential High Future Land Use designation and the City’s proposed R-3 Zoning designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT:

Staff has notified Orange County Public Schools (OCPS) of the proposed Future Land Use Map Amendment. The Future Land Use change to Residential High Density represents a higher impact on public school capacity than that created by the County Future Land Use assigned to the property. This Future Land Use amendment is subject to school capacity enhancement review; however, the applicant will address capacity enhancement with OCPS for the entire development project. School concurrency will apply at the time of a subdivision plan application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 7, 2014.

PUBLIC HEARING SCHEDULE:

- April 8, 2014 – Planning Commission (5:01 pm)
- May 7, 2014 – City Council (1:30 pm) - 1st Reading
- May 21, 2014 – City Council (8:00 pm) - 2nd Reading

DULY ADVERTISED:

- March 21, 2014 – Public Notice and Notification
- April 18, 2014 – Public Notice and Notification
- May 9, 2014 – Ordinance Heading Ad
- May 16, 2014 – ¼ Page w/map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Future Land Use from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac) for the property owned by Robert Roach.

The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the change in Future Land Use from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac) for the property owned by Robert Roach.

Accept the First Reading of Ordinance No. 2361 and Hold Over for Second Reading and Adoption on May 21, 2014.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
East (County)	“County” Rural (1 du/1 ac)	“County” A-1	SFR (3)
South (City)	Agricultural (1 du/10 ac)	AG	S.R. 414 (Apopka Expressway)
West (City)	Residential High (0-15 du/ac)	R-3	Vacant Land

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with this development of high density residential. S.R. 414, a limited access toll road, abuts the property to its south, and an entrance and exit to S.R. 414 is directly south of the site. A Future Land Use Designation of High Density Residential presently is assigned to the parcels abutting to the north.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core Area” of the JPA. The proposed FLUM Amendment request a change from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac) is consistent with the terms of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts North Keene Road. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain is level.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.h High Density Residential Future Land Use designation, and the Joint Planning Agreement with Orange County.

Analysis of the relationship of the amendment to the population projections: This property was annexed into the City on April 2, 2014. The proposed future land use designation for the Property is Residential High (0-15 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): 1 Unit(s) x 2.659 p/h = 3 persons

PROPOSED (City designation): 22 Unit(s) x 2.659 p/h = 58 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; N/A GPD/Capita; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD

3. Projected total demand under proposed designation: 4312 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita

7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: Private Well; N/A GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider:

City of Apopka

2. Projected total demand under existing designation: 454 GPD
3. Projected total demand under proposed designation: 9988 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 12 lbs./person/day
4. Projected LOS under proposed designation: 232 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 mil. GPD

Total design capacity of the water treatment plant(s): 33,696 mil. GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 24 hour design storm
3. Projected LOS under proposed designation: 100 year - 24 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

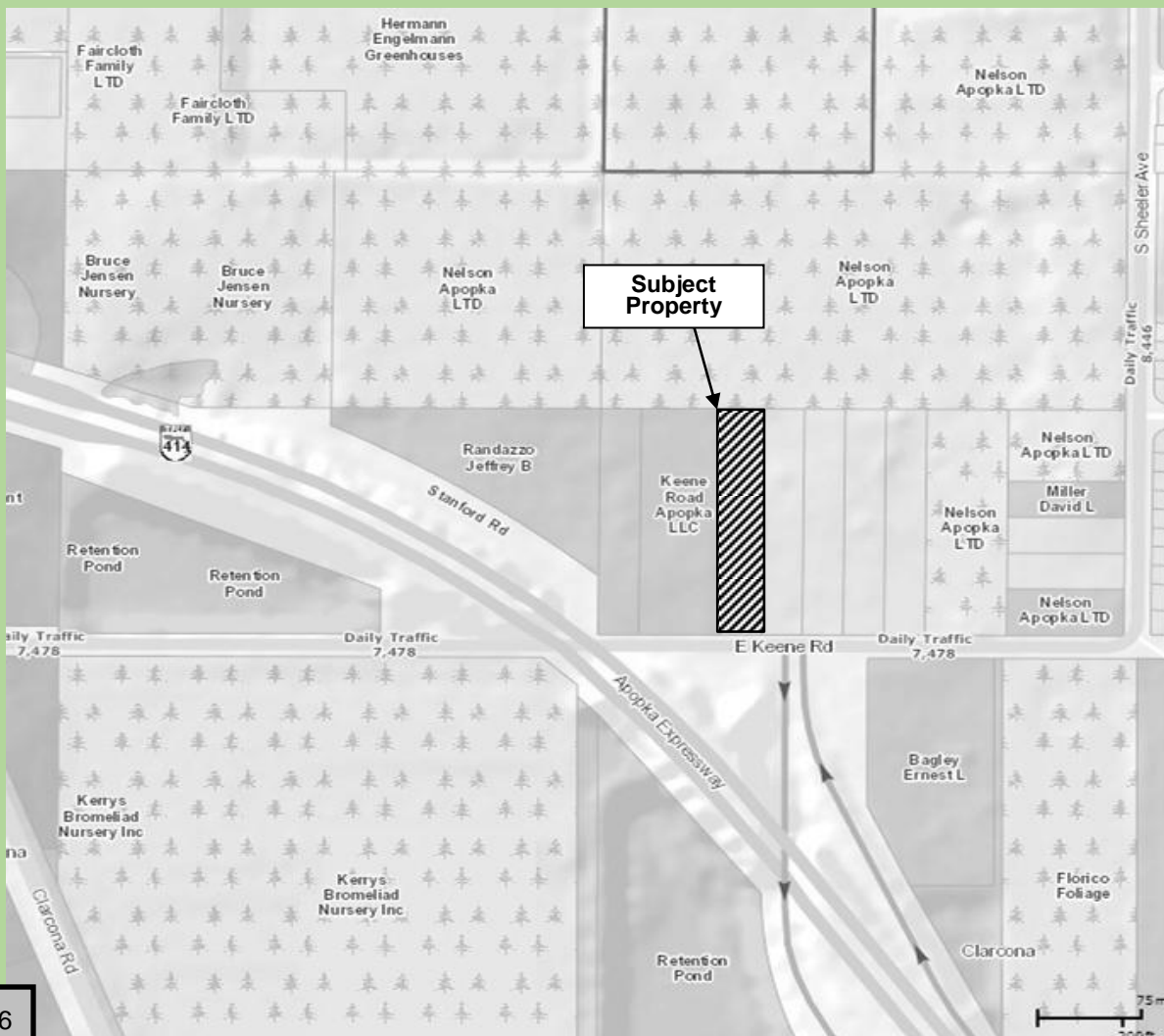
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.009 AC
3. Projected facility under proposed designation: 0.174 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

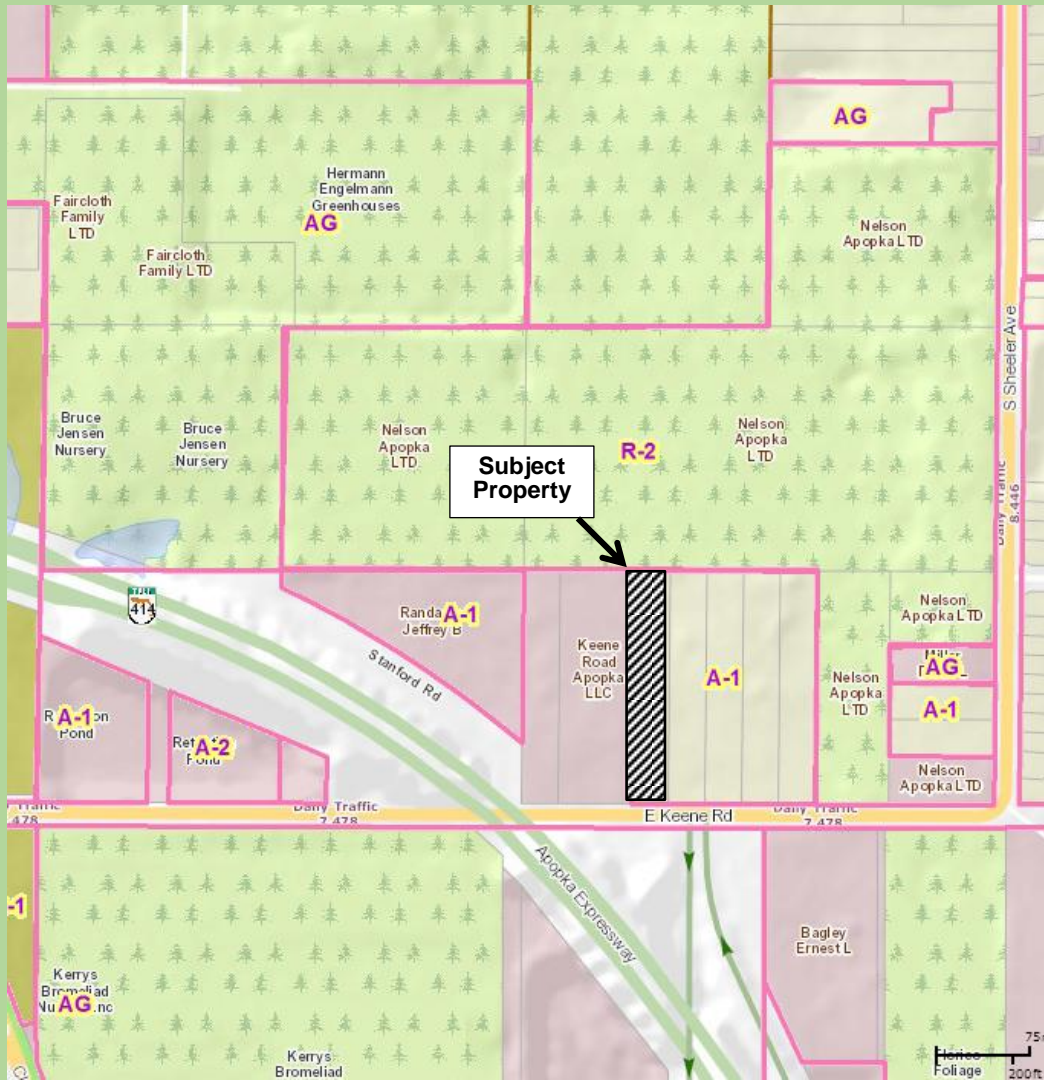
Robert Roach
1.5 +/- Acres
Existing Maximum Allowable Development: 1 Unit
Proposed Maximum Allowable Development: 22 Units
Proposed Future Land Use Change
From: "County" Rural (1 du/10 ac)
To: "City" Residential High (0-15 du/ac)
Proposed Zoning Change
From: "County" A-1
To: "City" R-3
Parcel ID #: 22-21-28-0000-00-114



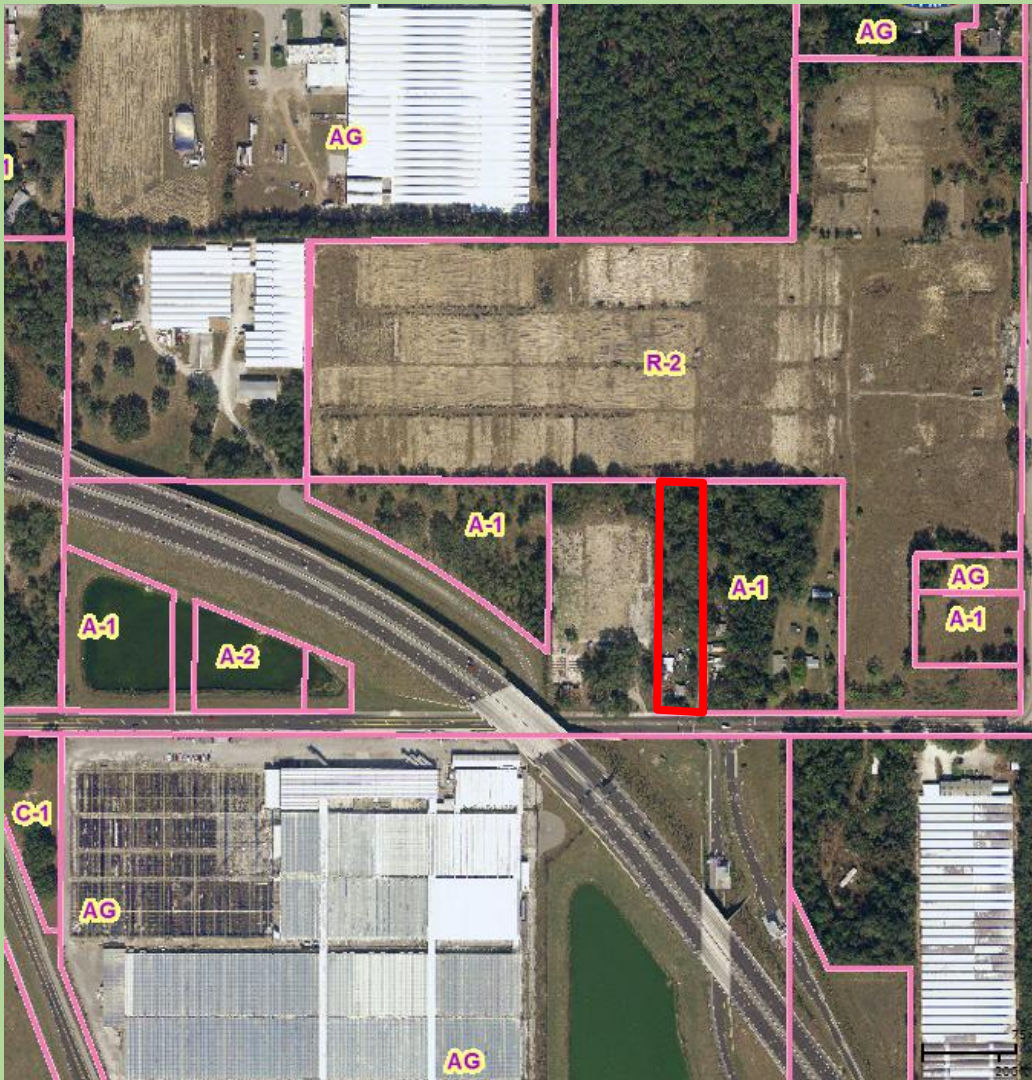
VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2361

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” RURAL (1 DU/10 AC) TO “CITY” RESIDENTIAL HIGH DENSITY (0-15 DU/AC) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF S.R. 414 (APOPKA EXPRESSWAY) AND KEENE ROAD AND WEST OF SOUTH SHEELER AVENUE COMPRISING 1.5 ACRES MORE OR LESS, AND OWNED BY ROBERT ROACH; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2356 on April 2, 2014; and

WHEREAS, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. Purpose and Intent.

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

Section II. Future Land Use Element.

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2356, is amended in its entirety to change the land use from “County” Rural (1 du/10 ac) to “City” Residential High Density (0-15 du/ac) for certain real property generally located north of S.R. 414 (Apopka Expressway) and Keene Road; and west of South Sheeler Avenue, comprising 1.5 acres more or less (Parcel No.: 22-21-28-0000-00-114); as further described in Exhibit “A” attached hereto.

Section III. Applicability and Effect.

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

Section IV. Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section V. The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance and shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section VI. Effective Date.

This Ordinance shall become effective upon adoption.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this _____ day of _____, 2014.

READ FIRST TIME: May 7, 2014

READ SECOND TIME
AND ADOPTED: May 21, 2014

Joseph E. Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, Esq., City Attorney

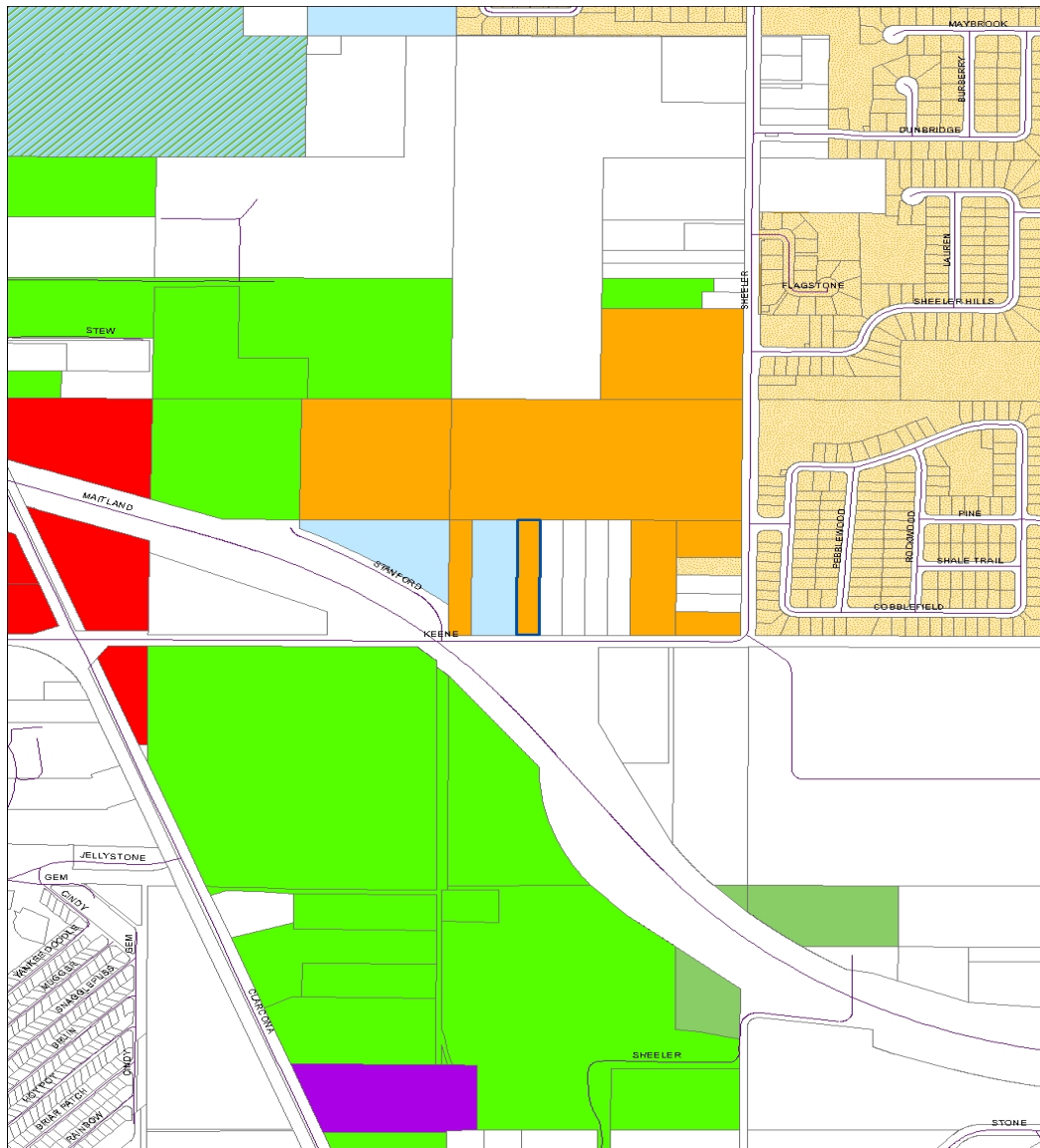
DULY ADVERTISED FOR TRANSMITTAL HEARING:

March 21, 2014
April 18, 2014
May 9, 2014
May 16, 2014

EXHIBIT "A"

ORDINANCE NO. 2361

Robert Roach
1.5 +/- Acres
Existing Maximum Allowable Development: 1 Unit
Proposed Maximum Allowable Development: 22 Units
Proposed Future Land Use Change
From: "County" Rural (1 du/10 ac)
To: "City" Residential High (0-15 du/ac)
Parcel ID #: 22-21-28-0000-00-114



DATE APR. 2014

Legend

— Apopka_Streets_031414	LAND_USE	AG-HOME	IND	PR	RLS
— Apopka_Parcel_031414	ANNEX	AG	INST_PU	RE	RM
FLU_080712_EP2	COMM	AG-E	MU	RH	RML
call other values	CO NSV	AG-E	OFF	RL	RS
					RVLS

DISCLAIMER
The data on this map cannot be guaranteed and is subject to change without notice.



Information
Technology
Department
407-703-1722



FLU_2014

Backup material for agenda item:

4. ORDINANCE NO. 2362 – FIRST READING - CHANGE OF ZONING – Robert Roach, from “County” A-1 to “City” R-3, for property located north of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue. (Parcel ID #: 22-21-28-0000-00-114)



CITY OF APOPKA CITY COUNCIL

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Ordinance

DATE: May 7, 2014
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Ordinance No. 2362

SUBJECT: ORDINANCE NO. 2362 – CHANGE OF ZONING – ROBERT ROACH – FROM “COUNTY” A-1 TO “CITY” R-3

Request: FIRST READING OF ORDINANCE NO. 2362 – CHANGE OF ZONING – ROBERT ROACH; FROM “COUNTY: A-1 TO “CITY” R-3; PARCELID NO.: 22-21-28-0000-00-114; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY

OWNER: Robert Roach

APPLICANT: Tallman Development, c/o Ed Hampden

LOCATION: North of S.R. 414 (Apopka Expressway) and Keene Road, and west of South Sheeler Avenue

EXISTING USE: Single Family Residence/Open Shed

CURRENT ZONING: “County” A-1

PROPOSED DEVELOPMENT: Residential Development

PROPOSED ZONING: “City” R-3 Note: this Change in Zoning request is being processed along with a request to change the Future Land Use Map designation from “County” Rural (1 du/10 ac) to “City” Residential High (0-15 du/ac)

TRACT SIZE: 1.5 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 1 Unit
PROPOSED: 22 Units

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on April 2, 2014, through the adoption of Ordinance No. 2351. The proposed Change of Zoning is being requested by the applicant, Tallman Development. The applicant has the subject parcel under contract to purchase. Although under separate corporate names, the adjacent parcels to the north and east are owned by entities that also own Tallman Development. The abutting parcels controlled by Tallman Development comprise approximately forty-five (45) acres in size. By pulling the Roach parcel into the larger parcel, Tallman Development will create a more compact development site at its southwestern corner of its proposed future residential development.

A request to assign a Residential High (0-15 du/ac) Future Land Use category to the Property is being processed in conjunction with this change of zoning for a R-3 designation. The zoning application covers approximately 1.5 acres. The property owner intends to use the site for a residential development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this change of zoning (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed R-3 zoning designation is consistent with the proposed Residential High (0-15 du/ac) future land use designation and the existing use of the property. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT:

Staff has notified Orange County Public Schools (OCPS) of the proposed Change of Zoning. The Change of Zoning to R-3 represents a higher impact on public school capacity than that created by the current zoning designation assigned to the property; however, the applicant will address capacity enhancement with OCPS for the entire development project. This Change of Zoning is subject to school capacity enhancement review. School concurrency will apply at the time of a subdivision plan application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 7, 2014.

PUBLIC HEARING SCHEDULE:

April 8, 2014 – Planning Commission (5:01 pm)
May 7, 2014 – City Council (1:30 pm) - 1st Reading
May 21, 2014 – City Council (8:00 pm) - 2nd Reading

DULY ADVERTISED:

March 21, 2014 – Public Notice and Notification
April 18, 2014 – Public Notice and Notification
May 9, 2014 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Change of Zoning and recommends approval of the change in Future Land Use from “County” A-1 to “City” R-3 for the property owned by Robert Roach.

The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the change in Future Land Use from “County” A-1 to “City” R-3 for the property owned by Robert Roach.

Accept the First Reading of Ordinance No. 2362, and Hold it Over for Second Reading and Adoption on May 21, 2014.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential High (0-15 du/ac)	R-3	Vacant Land
East (County)	“County” Rural (1 du/1 ac)	“County” A-1	SFR (3)
South (City)	Agricultural (1 du/10 ac)	AG	S.R. 414 (Apopka Expressway)
West (City)	Residential High (0-15 du/ac)	R-3	Vacant Land

LAND USE & TRAFFIC COMPATIBILITY:

The Property has access to a Collector roadway (East Keene Road). Situated less than one hundred and fifty feet from the S.R. 414 toll way entrance. The Property allows easy access to a regional highway that leads to I-4, S.R. 429/S.R. 451, and U.S. 441. Areas north and west of the Property, lands are predominantly used for horticultural nursery businesses or are vacant lands assigned an agriculture zoning. To the east of Sheeler Road are two single family home residential neighborhoods -- Cobblefield and Sheeler Hills. Stonewood Reserve, an unplatted residential community, is situated to the northeast of the Property. Located to the southeast is Orange County’s western regional water supply facility. South of the Property the area is predominantly used for horticultural nursery businesses and the S.R. 414 toll way interchange at Keene Road

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-3 (Multi-Family Residential) zoning is consistent with the City’s Residential High Density Future Land Use Designation, which allows up to 15 units per acre. Development plans shall not exceed the density allowed under the adopted future land use designation.

R-3 DISTRICT REQUIREMENTS:

The R-3 zoning category allows single-family, duplex, and multi-family residential development. Development requirements specific to each of these three development options are established within the Land Development Code. The applicant has indicated an interest to pursue multi-family development based on the residential market. Minimum development standards for multi-family are listed for the R-3 zoning category:

- Minimum Living Sq. Ft.:
 - Apartments - 750 sq. ft.
 - Condo/Townhomes - 1,350 sq. ft.
- Minimum Site Area: one (1) acre.
- Minimum Lot Width: 120 ft.
- Setbacks:
 - Front: 50 ft. between buildings
 - Rear: 50 ft. between buildings
 - Side: 20 ft. between structures
 - Corner: 25 ft.

**BUFFER-YARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum six- (6') foot high brick, stone or decorative finished block wall erected inside a minimum ten (10) foot wide landscaped buffer-yard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall.

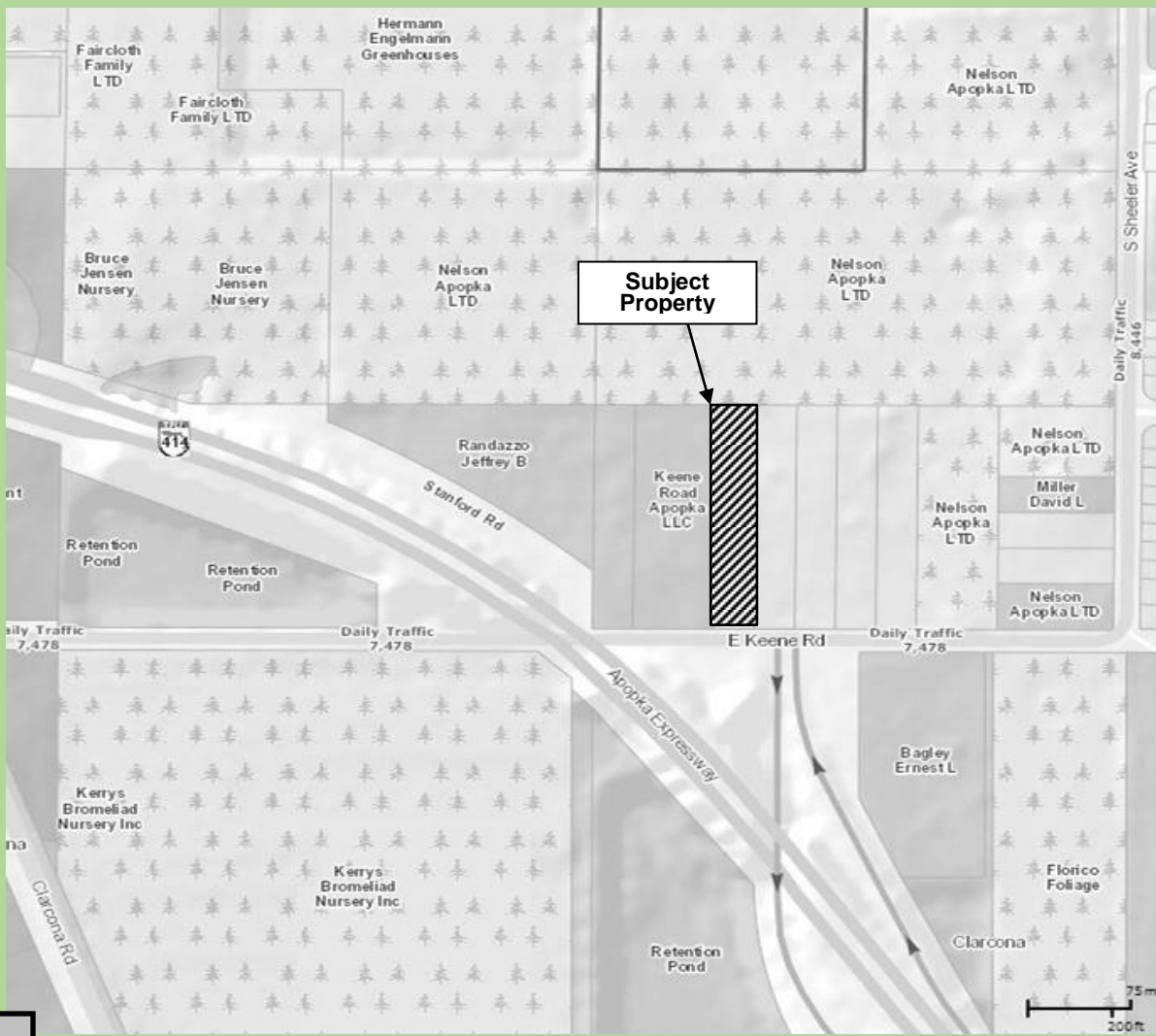
ALLOWABLE USES:

Multi-family development up to 15 units per acre, duplex, or single family residential subject to Section 2.02.07 of the Land Development Code.

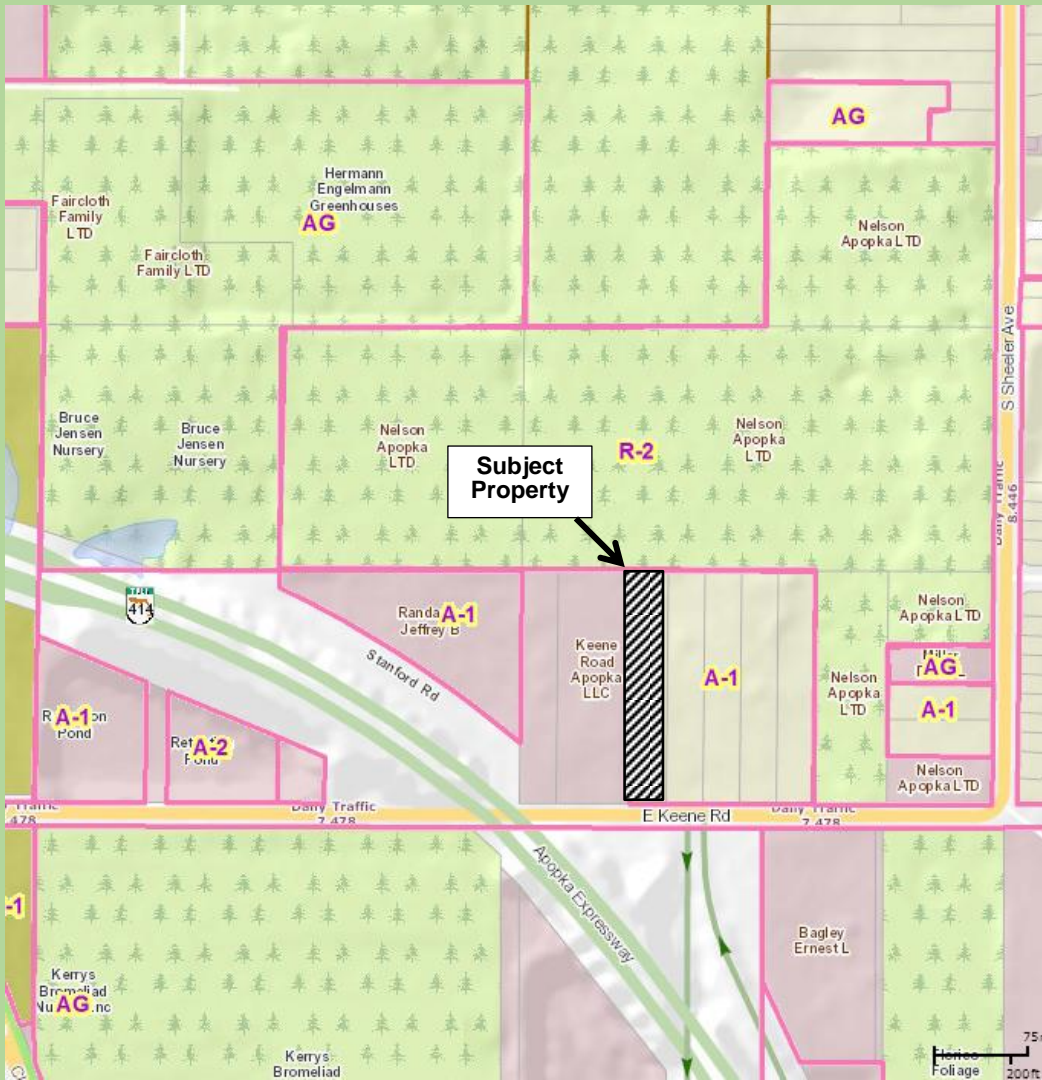
Robert Roach
1.5 +/- Acres
Existing Maximum Allowable Development: 1 Unit
Proposed Maximum Allowable Development: 22 Units
Proposed Future Land Use Change
From: "County" Agricultural (1 du/5 ac)
To: "City" Residential High (0-15 du/ac)
Proposed Zoning Change
From: "County" A-1
To: "City" R-3
Parcel ID #: 22-21-28-0000-00-114



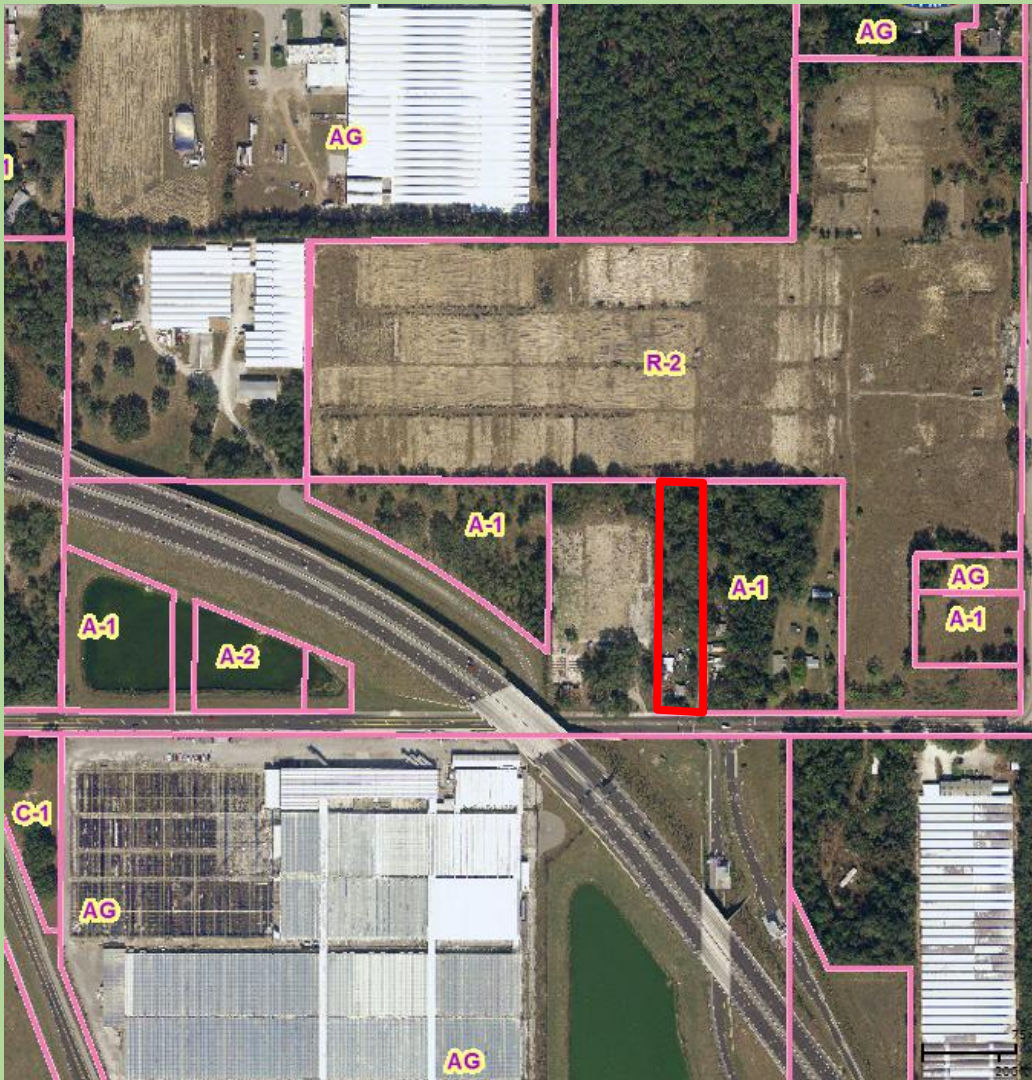
VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2362

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 TO “CITY” R-3 FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF S.R. 414 (APOPKA EXPRESSWAY) AND KEENE ROAD, AND WEST OF SOUTH SHEELER AVENUE, COMPRISING 1.5 ACRES MORE OR LESS, AND OWNED BY ROBERT ROACH; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed R-3 zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby R-3 As defined in the Apopka Land Development Code.

Legal Description:

The West 100 feet of the East 1020 feet of the South ½ of the Southeast ¼ of the Southeast ¼ (LESS the South 30 feet for road), of Section 22, Township 21 South, Range 28 East, recorded in Book 2760, Page 1323 and Book 4266, Page 3188 of the Public Records of Orange County, Florida.

Parcel I.D. # 22-21-28-0000-00-114

1.5 +/- acres

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation. The Community Development Director shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

ORDINANCE NO. 2362

PAGE 2

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon the effective date of City of Apopka Ordinance No. 2361.

READ FIRST TIME: May 7, 2014

READ SECOND TIME
AND ADOPTED: May 21, 2014

Joseph E. Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING: March 21, 2014
April 18, 2014
May 9, 2014

Backup material for agenda item:

5. ORDINANCE NO. 2363 – FIRST READING - CHANGE OF ZONING – Debra L. Jones; Steven P. Gill; and Apopka Gilkey, LLC, c/o Jason Gilkey, from R-1AA (0-5 du/ac)(Residential) and Planning Unit Development (PUD/R-2) (0-5 du/ac)(Residential) to Planning Unit Development (PUD/R-2) (0-5 du/ac)(Residential), for properties located east of Plymouth Sorrento Road, south of Schopke Road. (Parcel ID #s 06-21-28-7172-15-090 & 06-21-28-7172-15-130)



**CITY OF APOPKA
CITY COUNCIL**

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Ordinance

DATE: May 7, 2014
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Ordinance No. 2363

SUBJECT: ORDINANCE NO. 2363 – CHANGE OF ZONING - DEBRA L. JONES, STEVEN P. GILL, AND APOPKA GILKEY, LLC, C/O JASON GILKEY; FROM R-1AA (0-5 DU/AC) AND PLANNED UNIT DEVELOPMENT (PUD/R-2) (0-5 DU/AC – RESIDENTIAL)

Request: FIRST READING OF ORDINANCE NO. 2363 – CHANGE OF ZONING - DEBRA L. JONES, STEVEN P. GILL, AND APOPKA GILKEY, LLC, C/O JASON GILKEY; FROM R-1AA (0-5 DU/AC) AND PLANNED UNIT DEVELOPMENT (PUD/R-2) (0-5 DU/AC – RESIDENTIAL) TO PLANNED UNIT DEVELOPMENT (PUD/R-2) (0-5 DU/AC - RESIDENTIAL); PARCEL ID NOS.: 06-21-28-7172-15-090 & 06-21-28-7172-15-130; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY

OWNERS: Debra L. Jones; Steven P. Gill; and Apopka Gilkey, LLC, c/o Jason Gilkey
APPLICANT: Gilkey Realty, Inc., c/o Jason Gilkey
LOCATION: East of Plymouth Sorrento Road, south of Schopke Road
EXISTING USE: Single Family Residence, 1 shed, and planted pine
FUTURE LAND USE: Residential Low (up to 5 un\ac)
ZONING: R-1AA (Residential) (Min. 12,500 sq. ft. lot) and Planned Unit Development (Min. 8,625 Sq. Ft. Lot; and 8,400 sq. ft. Lots abutting Plymouth Sorrento Road)
PROPOSED DEVELOPMENT: Single Family Subdivision
PROPOSED ZONING: PUD (Residential -- Min. 8,625 Sq. Ft. Lot; 8,400 Sq. Ft. abutting Plymouth Sorrento Road)
TRACT SIZE: 14.7 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 56 Residential Units
PROPOSED ZONING: 62 Residential Units (max. 47 units per PUD conditions)

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
CAO Richard Anderson
Community Dev. Dir.
Finance Dir.
HR Director
IT Director
Police Chief
Public Ser. Dir. (2)
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject property was annexed into the City of Apopka on September 3, 1997, through the adoption of Ordinance No. 1104 (Parcel ID # 06-21-28-7172-15-090); and on December 16, 1998, through the adoption of Ordinance No. 1195 (Parcel ID # 06-21-28-7172-15-130). The proposed zoning change is compatible with the character of the surrounding area.

A change of zoning application for the Apopka Gilkey LLC parcel from R-1AA to PUD/R-2 was approved by the City on November 6, 2013 through the adoption of Ordinance No. 2335. Since the adoption of that rezoning ordinance, new information has emerged that Orange County will need thirty feet (30') of additional right-of-way on each side of Plymouth Sorrento Road to construct a four-lane divided road within the next ten years. In addition, Apopka Gilkey LLC proposes to acquire the 3.5 acre parcel that abuts to the south owned by Debra L. Jones and Steven P. Gill.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

PUD RECOMMENDATIONS:

The recommendations are that the zoning classification of the aforementioned properties be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions be subject to the following provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards established for the R-2 zoning category except where otherwise addressed in this ordinance.
- B. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Preliminary Development Plan submitted in association with the PUD district.
- C. If a preliminary Development Plan associated with the PUD district has not been approved by the City within two years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
 - 1. Permit a single six-month extension for submittal of the required Preliminary Development Plan;
 - 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 - 3. Rezone the property to a more appropriate zoning classification.
- D. Unless otherwise approved by City Council through an alternative development guideline for the master site plan, the following PUD development standards shall apply to the development of the subject property:

1. The maximum number of single family homes allowed in this PUD is forty-seven (47). Duplexes will not be allowed.
2. Minimum lot area for a single family home shall be 8,625 sq. ft. Lots with a rear-yard facing Plymouth Sorrento Road are allowed a minimum lot size of 8,400 square feet.
3. Wrought-iron style fences shall not be allowed within subdivision buffer tracts placed along Plymouth Sorrento Road or Schopke Road. A brick or masonry wall will not be required where the subject property abuts lands used for agriculture purposes or assigned an agriculture zoning category; but in lieu thereof the City may require a six-foot high vinyl or wood screen fence.
4. Minimum livable area for a single family dwelling unit is 1,500 sq. ft.
5. Unless otherwise addressed within the PUD development standards, the R-2 zoning standards will apply to the subject property.
6. Unless otherwise approved by City Council, road access to any residential development occurring within the subject property shall not occur from Plymouth Sorrento Road.
7. A thirty-foot wide tract along the western property line shall be reserved for future right-of-way (ROW) for Plymouth Sorrento Road. In the event the ROW reservation is not dedicated to the City of Apopka, the ROW shall be valued according to the zoning in effect prior to the effective date of the zoning ordinance (i.e., R-1AAA for 10.82 acres and R-1AA for the remaining 3.88 +/-acres).
8. A ten-foot wide landscape buffer with a six-foot high masonry wall shall be placed eastward of the land reserved for future right-of-way.
9. Common open space shall be provided at a minimum of twenty percent (20%) of the subject property, as set forth in and according to Section 2.02.18.D of the Land Development Code (2014). Any lot area exceeding 7,500 sq. ft. will qualify toward meeting the minimum open space requirement, as will the buffers and park areas. Land reserved for future road right-of-way for Plymouth-Sorrento Road will not be counted as towards meeting the open space requirement.
10. Planted pine currently existing on the northern parcel may be harvested for silviculture purposes. If harvested for timber product, planted pine shall not be subject to the City's arbor mitigation standards.
11. If a school capacity enhancement determination has not been approved by Orange County Public Schools within six months of the effective date of this ordinance, the Master Plan provisions shall expire. An application for a preliminary development plan or master site plan shall not be processed by the City until school capacity enhancement determination or mitigation agreement has been obtained from Orange County Public Schools.
12. At the time both parcels are under the same ownership, the owner shall consolidate the two parcels into one parcel by filing a parcel combination application through the Orange County Property Appraiser's Office.

COMPREHENSIVE PLAN COMPLIANCE: The proposed PUD rezoning is consistent with the Future Land Use Designation of Residential Low Density (up to five units per acre) that is assigned to the property. Site development cannot exceed the densities allowed by the Future Land Use policies. Development standards for the proposed PUD zoning category establish a minimum lot area standard of 8,625 sq. ft. except for lots with a rear yard abutting Plymouth Sorrento Road are allowed a minimum lot area standard of 8,400 sq. ft..

SCHOOL CAPACITY REPORT: The proposed zoning may potentially allow the development of more lots than can be generated by the zoning currently assigned to the subject property. Based on the master site plan, when it is prepared, the proposed new units could have a minor, or deminimus, impact on school capacity. Therefore, no further development applications shall be processed for approval until OCPS has made a determination on school capacity enhancement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 7, 2014.

PUBLIC HEARING SCHEDULE:

April 8, 2014 – Planning Commission (5:01 pm)
May 7, 2014 - City Council (1:30 pm) - 1st Reading
May 21, 2014 – City Council (8:00 pm) - 2nd Reading

DULY ADVERTISED:

March 21, 2014 – Public Notice and Notification
April 18, 2014 – Public Notice and Notification
May 9, 2014 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the change in Zoning from R-1AA (0-5 du/ac - Residential) and Planned Unit Development (PUD/R-2) (0-5 du/ac - Residential) to Planned Unit Development (PUD/R-2) (0-5 du/ac - Residential) for the property owned by Debra L. Jones, Steven P. Gill, and Apopka Gilkey, LLC, c/o Jason Gilkey.

The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the change in Zoning from R-1AA (0-5 du/ac - Residential) and Planned Unit Development (PUD/R-2) (0-5 du/ac - Residential) to Planned Unit Development (PUD/R-2) (0-5 du/ac - Residential) for the property owned by Debra L. Jones, Steven P. Gill, and Apopka Gilkey, LLC, c/o Jason Gilkey.

Accept the First Reading of Ordinance No. 2363, and Hold it Over for Second Reading and Adoption on May 21, 2014.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-2	Planted Pine
East (County)	Agricultural (1 du/10 ac)	A-1	Tree Nursery/Grazing
South (City)	Agricultural (1 du/10 ac)	A-1	Tree Nursery/Grazing
West (City)	Residential Low Suburban (0-2 du/ac)	R-1AA	Nursery

LAND USE & TRAFFIC COMPATIBILITY:

The subject property fronts a major collector roadway (Plymouth Sorrento Road) to the west and is bordered to the north by a local street – Schopke Road. A survey of the residential lot dimensions and lot area found in nearby residential communities is listed below:

Subdivision	Lot Width	Lot Depth	Lot Area
Arbor Ridge Phase 1	95'	135'	13,100 sq. ft.
Palmetto Ridge	75'	134'	10,050 sq. ft.
Fisher Plantation	75'	115'	8,625 sq. ft.
Plymouth Landing	60'	110'	6,600 sq. ft.

The area along Schopke Road, east of Plymouth Sorrento Road, and west of Schopke Lester Road experiences a transition from horticultural nurseries and large residential parcels to residential subdivisions ranging in lot sizes from 6,600 sq. ft. to 13,100 sq. ft. Lot size tends decrease moving southward from Lester Road to U.S. 441 within this area. While a mix of unincorporated and city parcels south of Schopke Road, the future land use maps for the County and the City plan for residential subdivisions with a density up to four to five units per acre. For the City of Apopka, Residential Low Density future land use designation is common in this area, while the County’s map assigns a similar future land use designation of Low Density Residential to unincorporated parcels.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PUD zoning is consistent with the City’s Residential Low (0-5 du/ac) Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

R-2 DISTRICT REQUIREMENTS:

Below standards only apply if not otherwise addressed in the PUD development conditions.

- Minimum Living Area: 1,350 sq. ft. – SFR/Duplex
- Minimum Site Area: 7,500 sq. ft. – SFR / 15,000 sq. ft. - Duplex
- Minimum Lot Width: 70 ft. – SFR / 140 ft. - Duplex
- Setbacks- Front: 25 ft.
- Rear: 20 ft.
- Side: 7.5 ft. – SFR/10 ft. - Duplex
- Corner: 25 ft.

**PROPOSED PUD
REQUIREMENTS:**

Minimum Living Area:	1,500 sq. ft. – SFR/
Minimum Site Area:	8,625 sq. ft. – SFR
	8,400 Sq. ft. – SFR along PS Road
Minimum Lot Width:	70 ft. – SFR
Setbacks- Front:	25 ft.
Rear:	20 ft.
Side:	7.5 ft. – SFR
Corner:	25 ft.
Front-entry garage:	30 ft.

**PUD BUFFERYARD
REQUIREMENTS:**

Development within this PUD shall comply with the R-2 category buffer requirements except as otherwise described in the PUD development standards. R-2 buffer standards are: a six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. This will be determined by the city on a case-by-case basis; Areas adjacent to agricultural districts or uses shall provide a minimum five-foot bufferyard and a six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval; and Duplex developments which are adjacent to single-family detached housing developments shall provide a minimum six-foot high brick, stone or decorative block finished wall erected inside a five-foot bufferyard.

**ALLOWABLE
USES:**

One-family dwelling structures, including customary accessory structures and Uses in accordance with R-2 zoning category described with article VII of the city code.



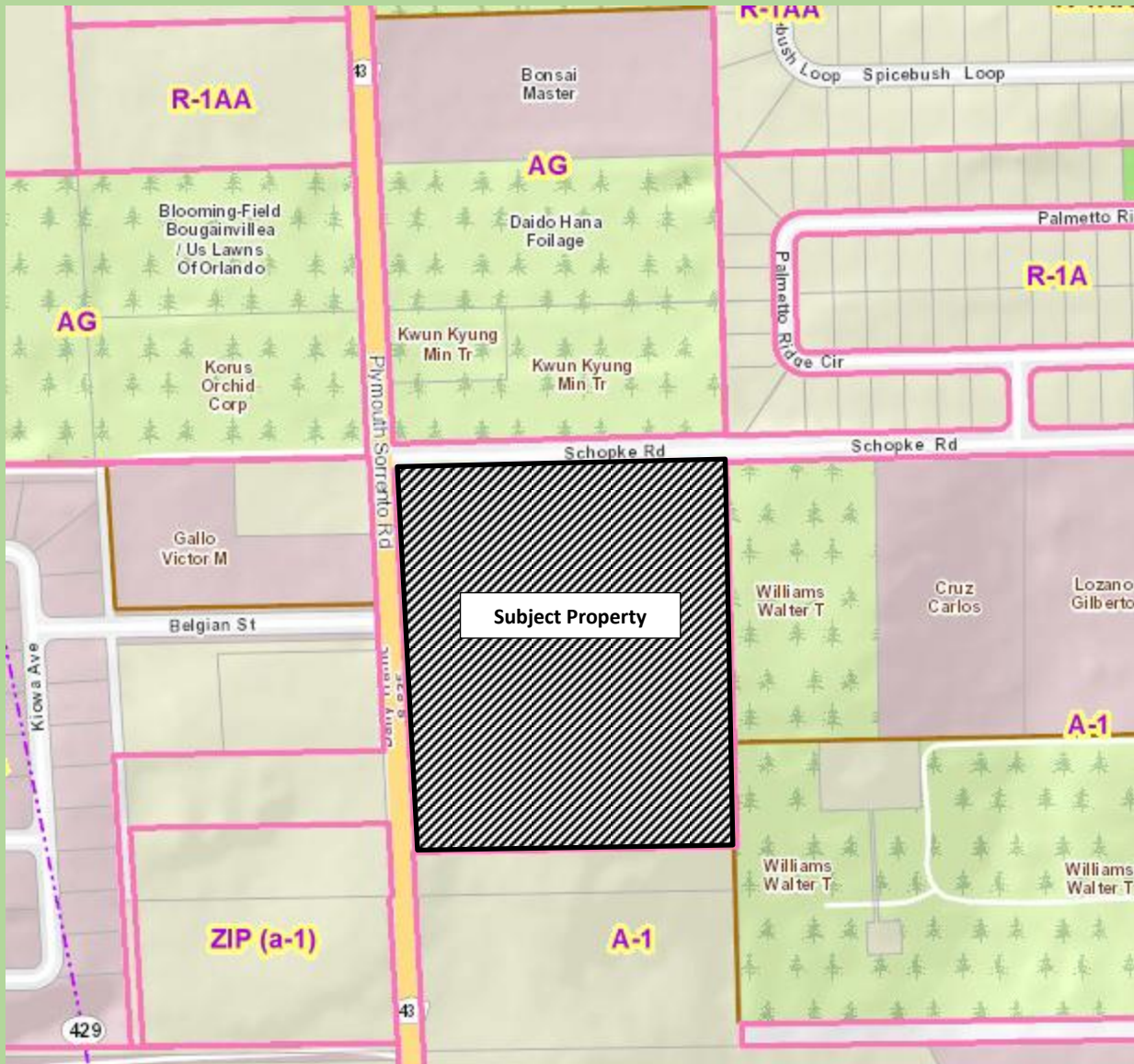
**Debra L. Jones and Steven P. Gill (3.88 +/- acres), and
Gilkey Apopka, LLC. (10.82 +/- acres)
14.7 Total +/- Acres**
Existing Maximum Allowable Development: 56 Units
Proposed Maximum Allowable Development: 62 Units
Proposed Zoning Change:
From: R-1AA (Residential) and PUD/R-2 (Residential)
To: PUD/R-2 (Residential)
Parcel ID #s: 06-21-28-7172-15-130; 06-21-28-7172-15-090

VICINITY MAP



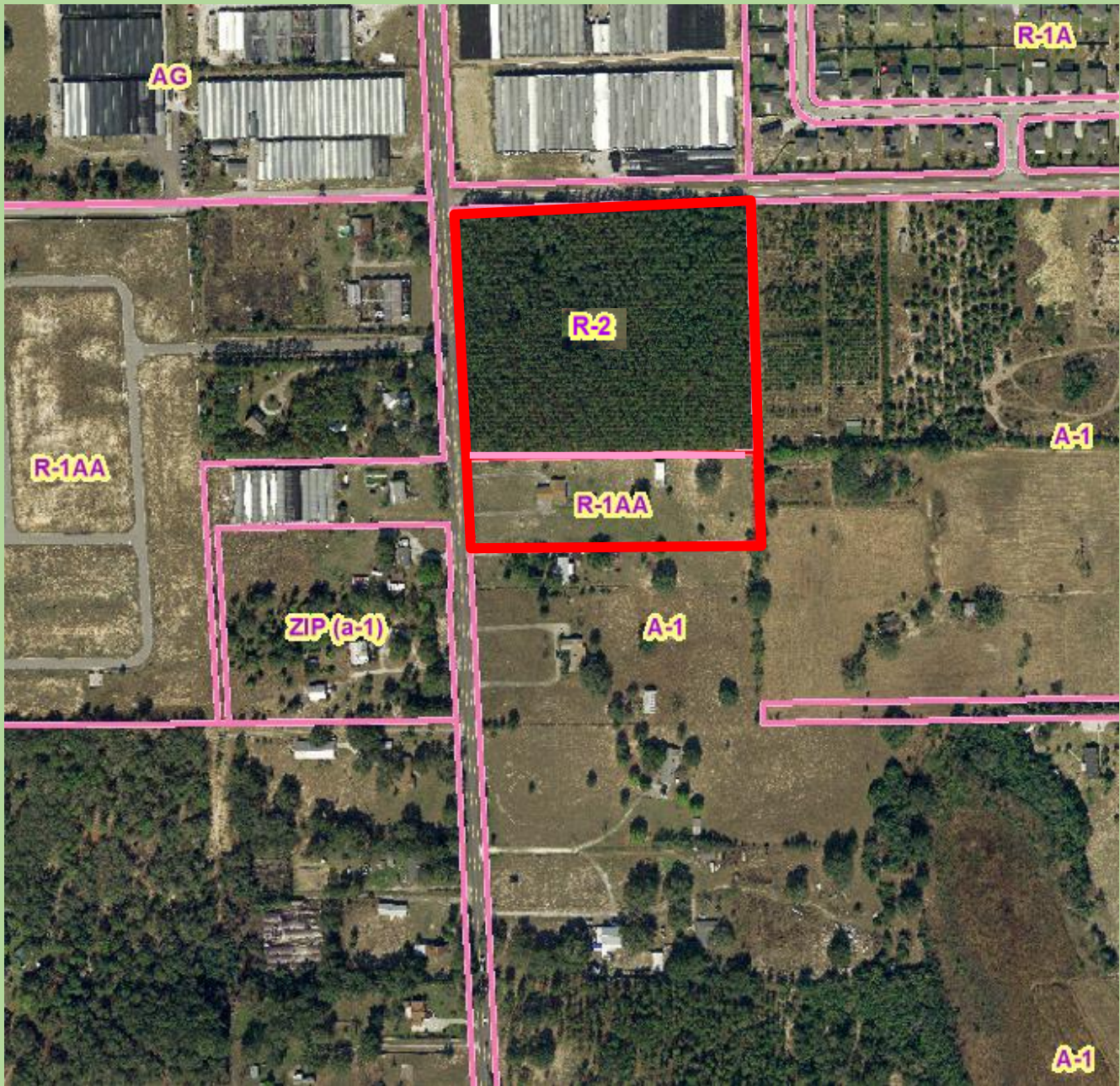


ADJACENT ZONING





ADJACENT USES



ORDINANCE NO. 2363

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM R-1AA TO PLANNED UNIT DEVELOPMENT (PUD/R-2) FOR CERTAIN REAL PROPERTIES GENERALLY LOCATED EAST OF PLYMOUTH SORRENTO ROAD, SOUTH OF SCHOPKE ROAD, COMPRISING 14.7 ACRES, MORE OR LESS AND OWNED BY DEBRA L. JONES, STEVEN P. GILL, AND APOPKA GILKEY, LLC, C/O JASON GILKEY; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/R-2) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described properties be designated as Planned Unit Development (PUD/R-2), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards established for the R-2 zoning category except where otherwise addressed in this ordinance.
- B. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Preliminary Development Plan submitted in association with the PUD district.
- C. If a preliminary Development Plan associated with the PUD district has not been approved by the City within two years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
 - 1. Permit a single six-month extension for submittal of the required Preliminary Development Plan;
 - 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 - 3. Rezone the property to a more appropriate zoning classification.

- D. Unless otherwise approved by City Council through an alternative development guideline for the master site plan, the following PUD development standards shall apply to the development of the subject property:
1. The maximum number of single family homes allowed in this PUD is forty-seven (47). Duplexes will not be allowed.
 2. Minimum lot area for a single family home shall be 8,625 sq. ft. Lots with a rear-yard facing Plymouth Sorrento Road are allowed a minimum lot size of 8,400 square feet.
 3. Wrought-iron style fences shall not be allowed within subdivision buffer tracts placed along Plymouth Sorrento Road or Schopke Road. A brick or masonry wall will not be required where the subject property abuts lands used for agriculture purposes or assigned an agriculture zoning category; but in lieu thereof the City may require a six-foot high vinyl or wood screen fence.
 4. Minimum livable area for a single family dwelling unit is 1,500 sq. ft.
 5. Unless otherwise addressed within the PUD development standards, the R-2 zoning standards will apply to the subject property.
 6. Unless otherwise approved by City Council, road access to any residential development occurring within the subject property shall not occur from Plymouth Sorrento Road.
 7. A thirty-foot wide tract along the western property line shall be reserved for future right-of-way (ROW) for Plymouth Sorrento Road. In the event the ROW reservation is not dedicated to the City of Apopka, the ROW shall be valued at the zoning in effect prior to the effective date of the zoning ordinance (i.e., R-1AA (3.88 +/- acres) and R-1AAA (10.88 +/- acres)).
 8. A ten-foot wide landscape buffer with a six-foot high masonry wall shall be placed eastward of the land reserved for future right-of-way.
 9. Common open space shall be provided at a minimum of twenty percent (20%) of the subject property, as set forth in and according to Section 2.02.18.D of the Land Development Code (2014). Any lot area exceeding 7,500 sq. ft. will qualify toward meeting the minimum open space requirement, as will the buffers and park areas. Land reserved for future road right-of-way for Plymouth-Sorrento Road will not be counted as towards meeting the open space requirement.
 10. Planted pine currently existing on the northern parcel may be harvested for silviculture purposes. If harvested for timber product, planted pine shall not be subject to the City's arbor mitigation standards.

11. If a school capacity enhancement determination has not been approved by Orange County Public Schools within six months of the effective date of this ordinance, the Master Plan provisions shall expire. An application for a preliminary development plan or master site plan shall not be processed by the City until school capacity enhancement determination or mitigation agreement has been obtained from Orange County Public Schools.
12. At the time both parcels are under the same ownership, the owner shall consolidate the two parcels into one parcel by filing a parcel combination application through the Orange County Property Appraiser's Office.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-2) as defined in the Apopka Land Development Code.

Legal Description:

Lot 13, (less south 100 feet) Block O, Town of Plymouth, as the same appears in Plat Book B, Pages 17 and 18, public records of Orange County, Florida.
Parcel ID No. 06-21-28-7172-15-130
3.88 +/- Acres

And

Map of Plymouth, Plat Book B, Page 17, Lots 9 & 12, Block O, Lying in Section 31, Township 20 South, Range 28 East, Northwest ¼, Orange County, Florida, according to the Public Records of Orange County, Florida.
Parcel ID No.: 06-21-28-7172-15-090
10.82 +/- Acres

Combined Total Acreage: 14.70 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: May 7, 2014

READ SECOND TIME
AND ADOPTED: May 21, 2014

Joseph E. Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING: March 21, 2014
April 18, 2014
May 9, 2014

Backup material for agenda item:

6. RESOLUTION NO. 2014-03 - Amending Resolution No. 2005-12 by modifying the designated officials who are authorized with Regions Bank to sign checks, notes, drafts, bills of exchange, monies, acceptance, orders and other items of any kind, to make endorsements, to borrow money, and setting the method of notice of change in officials.



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Resolution No. 2014-03

MEETING OF: May 7, 2014
 FROM: Finance
 EXHIBITS: _____

SUBJECT: RESOLUTION NO. 2014-03 – AMENDING RESOLUTION NO. 2005-12 BY MODIFYING THE DESIGNATED OFFICIALS WHO ARE AUTHORIZED WITH REGIONS BANK TO SIGN CHECKS, NOTES, DRAFTS, BILLS OF EXCHANGE, MONIES, ACCEPTANCE, ORDERS AND OTHER ITEMS OF ANY KIND, TO MAKE ENDORSEMENTS, TO BORROW MONEY, AND SETTING THE METHOD OF NOTICE OF CHANGE IN OFFICIALS.

Request: ADOPT RESOLUTION NO. 2014-03

SUMMARY:

On May 18, 2005, City Council designated officials who were authorized with Regions Bank to sign checks, notes, drafts, bills of exchange, monies acceptance, orders and other items of any kind, to make endorsements, to borrow money, and setting the method of notice of change in officials. With the recent 2014 general and special election, a new Mayor and City Council members for Seats 2 and 3 were elected requiring a change in officials. Resolution No. 2014-03 authorizes the change in these officials.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2014-03.

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 CAO Richard Anderson
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 City Clerk
 Fire Chief

RESOLUTION NO. 2014-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AMENDING RESOLUTION NO. 2005-12 BY MODIFYING THE DESIGNATED OFFICIALS WHO ARE AUTHORIZED WITH REGIONS BANK TO SIGN CHECKS, NOTES, DRAFTS, BILLS OF EXCHANGE, MONIES, ACCEPTANCE, ORDERS AND OTHER ITEMS OF ANY KIND; BY MODIFYING THE DESIGNATED OFFICIALS WHO ARE AUTHORIZED TO MAKE ENDORSEMENTS; BY MODIFYING THE DESIGNATED OFFICIALS AUTHORIZED TO BORROW MONEY; SETTING THE METHOD OF NOTICE OF CHANGE IN OFFICIALS; ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council deems it necessary to modify the designated officials as official signers for its banking services; and

WHEREAS, Regions Bank requires signature cards and a resolution authorizing certain City officials to sign on the City's accounts.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apopka, Florida, as follows:

1. That Resolution No. 2005-12, dated May 18, 2005, is hereby amended to modify the designated officials who are authorized to sign on behalf of the City of Apopka.

2. That the officials of this City hereby authorized to open a bank account or accounts with the Bank, for and in the name of this City, and to deposit with the Bank in the account(s) from time to time any and all checks, notes, drafts, bills of exchange, monies, acceptances, orders, and other items of any kind is hereby modified.

3. That, with the one exception noted below, the signature of any two (2) of the City officials detailed in Paragraph 5 below, are required on checks, notes, drafts, bills of exchange, monies, acceptances, orders, and other items of any kind.

Any two (2) of the said officials are hereby authorized to sign (either by actual or facsimile signature) any and all checks, drafts, notes, acceptances, bills of exchange, orders, or other instruments for the withdrawal of any and all monies, credits, items and property at any time held by the Bank for account of the City. Bank shall be entitled to honor, and shall not be liable to the City for, the payment of all instruments bearing the purported facsimile signatures of officers or agents of the City authorized in this resolution, even though the facsimile signatures are actually affixed without authority.

4. That the Bank is hereby authorized to pay or cash any instruments payable to or held by the City when endorsed as provided herein, and also to receive the same for credit to the account of or in payment from the payee or other holder (including any official of the City), without inquiry as to the circumstances of issue or endorsement thereof.

5. That the following list gives the names of the accounts to be maintained by the City and the names of the officials authorized to sign on said accounts as long as the signature of any two of those listed below on each account appear on any checks, notes, drafts, bill of exchanges, monies, acceptances, orders, endorsement, and other items of any kind, except only one signature is required on payroll checks. Their genuine signatures appear at the end of this

resolution and shall be certified by the City Clerk.

<u>Account Name</u>	<u>Signatures of Any Two of the Following Officials Required</u>
General Operating	Mayor Joseph E. Kilsheimer Commissioner J. William Arrowsmith Commissioner Billie L. Dean Commissioner Diane Velazquez Commissioner Sam Ruth Chief Administrator Richard D. Anderson City Clerk Janice G. Goebel
Utility Deposit Refund	Mayor Joseph E. Kilsheimer Commissioner J. William Arrowsmith Commissioner Billie L. Dean Commissioner Diane Velazquez Commissioner Sam Ruth Chief Administrator Richard D. Anderson City Clerk Janice G. Goebel
Law Enforcement Trust	Mayor Joseph E. Kilsheimer Commissioner J. William Arrowsmith Commissioner Billie L. Dean Commissioner Diane Velazquez Commissioner Sam Ruth Chief Administrator Richard D. Anderson City Clerk Janice G. Goebel
PAYROLL ACCOUNT *One (1) signature only	Mayor Joseph E. Kilsheimer Commissioner J. William Arrowsmith Commissioner Billie L. Dean Commissioner Diane Velazquez Commissioner Sam Ruth Chief Administrator Richard D. Anderson City Clerk Janice G. Goebel
CDBG	Mayor Joseph E. Kilsheimer Commissioner J. William Arrowsmith Commissioner Billie L. Dean Commissioner Diane Velazquez Commissioner Sam Ruth Chief Administrator Richard D. Anderson City Clerk Janice G. Goebel

6. That endorsements on behalf of this City upon any and all commercial paper of any kind deposited by or on behalf of this City with the Bank for credit or for collection or otherwise may be made by any two of the foregoing officials.

7. That money borrowed from the Bank on behalf of the City may be authorized by any two of the foregoing officials.

8. That all prior authorizations in conflict herewith are hereby revoked, as to acts performed prior to the effective date.

9. That all the foregoing authorizations shall continue in full force and effect until revoked or modified by written notice actually received by the Bank, setting forth a resolution to that effect stated to have been adopted by the City Council of the City and signed by the City

of the City, and the Bank is hereby authorized and directed to at all times rely upon the last

notice received by it of any resolutions of the foregoing authorities and as to the persons who from time to time are its officials and their signatures when such notice is signed by one purporting to be the City Clerk of the City.

10. The City will set up additional accounts from time to time in accordance with general accounting principles, and if such accounts are set up, the signatures shall be:

- Mayor Joseph E. Kilsheimer
- Commissioner J. William Arrowsmith
- Commissioner Billie L. Dean
- Commissioner Diane Velazquez
- Commissioner Sam Ruth
- Chief Administrator Richard D. Anderson
- City Clerk Janice G. Goebel

11. This Resolution shall take effect immediately upon adoption.

ADOPTED this 7th day of May, 2014.

CITY OF APOPKA, FLORIDA

Attest: Joe Kilsheimer, Mayor

Janice G. Goebel, City Clerk

I HEREBY CERTIFY that the following persons, whose genuine signatures appear below, are the officials of the City of Apopka in the capacity set before their respective signatures, to wit:

- Mayor Joseph E. Kilsheimer _____
- Commissioner J. William Arrowsmith _____
- Commissioner Billie L. Dean _____
- Commissioner Diane Velazquez _____
- Commissioner Sam Ruth _____
- Chief Administrator Richard D. Anderson _____
- City Clerk Janice G. Goebel _____

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the City seal this _____ day of _____, A.D. 2014.

Janice G. Goebel, City Clerk

Backup material for agenda item:

7. RESOLUTION NO. 2014-04 - Authorizing the reimbursement of certain costs relating to the acquisition of sanitation trucks and compressed natural gas (CNG) station capital improvements.



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Resolution No. 2014-04

MEETING OF: May 7, 2014
 FROM: Finance
 EXHIBITS: _____

SUBJECT: RESOLUTION NO. 2014-04 – AUTHORIZING THE REIMBURSEMENT OF CERTAIN COSTS RELATING TO THE ACQUISITION OF SANITATION TRUCKS AND COMPRESSED NATURAL GAS (CNG) STATION CAPITAL IMPROVEMENTS.

Request: ADOPT RESOLUTION NO. 2014-04

SUMMARY:

On March 20, 2013, City Council authorized the purchase of a CNG side loader sanitation truck from Mack Nextran Truck Center in the amount of \$293,337.35. On November 20, 2013, City Council authorized the purchase of two CNG rear loader sanitation trucks from Mack Nextran Truck Center and one CNG claw truck from Kenworth of Central Florida in the amount of \$553,701 and \$191,879, respectively. On February 19, 2014, City Council awarded the contract to Guardian Fueling Technologies for capital improvements to the CNG fuel island in the amount of \$1,155,810.

The City has determined it is in the best interest to reimburse such costs from proceeds of tax-exempt debt. In accordance with the United States Department of Treasury regulations, Resolution No. 2014-05 allows for the reimbursement of certain costs relating to the acquisition of the sanitation trucks and CNG capital improvements.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2014-04.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	City Clerk
CAO Richard Anderson	IT Director	Fire Chief
Community Development Director	Police Chief	

RESOLUTION NO. 2014-04

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA WITH RESPECT TO THE REIMBURSEMENT OF CERTAIN COSTS RELATING TO THE ACQUISITION OF SANITATION TRUCKS AND VARIOUS COMPRESSED NATURAL GAS (CNG) STATION CAPITAL IMPROVEMENTS.

WHEREAS, the City of Apopka, Florida (the "City") has incurred and/or will incur various costs in relation to the acquisition of sanitation trucks (the "Sanitation Project") and various compressed natural gas station capital improvements (the "CNG Project," and together with the Sanitation Project, the "Project");

WHEREAS, the City has determined it is in its best interest to reimburse such costs from proceeds of tax-exempt debt, which tax-exempt debt may be issued in one or more series and pursuant to one or more financing documents; and

WHEREAS, the United States Department of Treasury has issued various regulations in regard to reimbursement of governmental costs through the issuance of tax-exempt debt;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AS FOLLOWS:

SECTION 1. It is the intent of the City to reimburse various costs and expenditures relating to the acquisition of the Project, as more particularly described on Exhibit A hereto. The City has paid for, and/or reasonably anticipates that it will pay for, costs and expenditures of the Sanitation Project from moneys on deposit in its sanitation fund. The City has paid for, and/or reasonably anticipates that it will pay for, costs and expenditures of the CNG Project from moneys on deposit in its general fund. It is reasonably expected that reimbursement of such costs and expenditures shall come from the issuance of tax-exempt debt, which may be issued in one or more series and pursuant to one or more financing documents, which is not expected to exceed \$2,300,000 aggregate principal amount. It is currently the intention of the City to principally secure and pay for such tax-exempt debt through a covenant to budget and appropriate legally available non-ad valorem revenues of the City. The expenditures to be reimbursed shall be consistent with the City's budgetary and financial policy as being the type of expenditures which shall be paid on a long-term basis.

SECTION 2. The City shall comply with all applicable law in regard to the public availability of records of official acts (i.e., adoption of this resolution) by public entities such as the City, including making this resolution available to public inspection.

SECTION 3. It is the intent of this resolution to meet the requirements of Treasury Regulations Section 1.150-2 and to be a declaration of official intent under such Section.

SECTION 4. This Resolution shall become effective immediately upon adoption hereof.

ADOPTED, this 7th day of May, 2014.

CITY OF APOPKA, FLORIDA

(SEAL)

Joe Kilsheimer, Mayor

ATTEST:

Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

Frank Kruppenbacher, City Attorney

EXHIBIT A

General Description of Project

- Acquisition of sanitation trucks
- Various compressed natural gas station capital improvements, as more particularly described in the plans and specifications on file with the City

Backup material for agenda item:

1. FINAL DEVELOPMENT PLAN - Poe Reserve Subdivision, owned by Nancy Poe, c/o Floriday Properties, Inc.; the engineer is June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff and Jimmy Dunn; and the property is located south of North Orange Blossom Trail, west of State Road 451. (Parcel ID Nos. 05-21-28-0000-00-030, 08-21-28-0000-00-026, 08-21-28-0000-00-027 & 08-21-28-0000-00-046)



CITY OF APOPKA CITY COUNCIL

PUBLIC HEARING
 SPECIAL REPORTS
 PLAT APPROVAL
 OTHER: Final Dev. Plan

MEETING OF: May 7, 2014
FROM: Community Development
EXHIBITS: Vicinity Map
Duke Energy Letter
Site & Landscape Plans

PROJECT: POE RESERVE SUBDIVISION FINAL DEVELOPMENT PLAN/PLAT

Request: APPROVE THE POE RESERVE SUBDIVISION FINAL DEVELOPMENT PLAN/PLAT; AND ISSUE THE FINAL DEVELOPMENT ORDER

SUMMARY:

OWNER: Nancy Poe, c/o Floriday Properties, Inc.

APPLICANT/ENGINEER: June Engineering Consultants, Inc.,
c/o Jeffrey Sedloff & Jimmy Dunn

LOCATION: South of North Orange Blossom Trail, west of State Road 451

ZONING: 05-21-28-0000-00-030 & 08-21-28-0000-00-026 = R-1
08-21-28-0000-00-027 & 08-21-28-0000-00-046 = R-3

FUTURE LAND USE: Residential-Low (0-5.0 du/ac)

EXISTING USE: Vacant Land

PROPOSED USE: Single Family Residential Subdivision (81) Lots
Min. House Livable Area: 1,500 sq. ft.
Min. Established by Applicant: 2,100 sq. ft.

TRACT SIZE: 26.30 +/- Developable Acres

DENSITY: 3.08 units per gross acre

DISTRIBUTION

Mayor Kilsheimer	Finance Dir.	Public Ser. Dir (2)
Commissioners (4)	HR Director	City Clerk
CAO Richard Anderson	IT Director	Fire Chief
Community Dev. Dir.	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1/C-2	Vacant Land; CSX rail line
East (City)	Res. Low (0-5.0 du/ac)	R-1 (ZIP)	OOCEA Retention Pond; S.R. 451 Tollway
South (City)	Res. Low (0-5.0 du/ac)	R-1A	Marshall Lake\Vacant Land
West (City)	Res. Low (0-5.0 du/ac)	R-1/R-3	Lake Doe Cove Phase 3\Country Landing

ADDITIONAL COMMENTS:

The Poe Reserve Final DEVELOPMENT PLAN/PLAT/Plat proposes 81 single family lots within 26.3 +/- acres. Approximately half of the property is zoned R-1 residential and the other half is zoned R-3 residential. While the R-3 zoning category allows single family lots with a minimum lot width of 70 feet and a minimum lot area of 7,500 sq. ft., the entire project area proposes a minimum lot width of 75 feet and a minimum lot area of 8,000 sq. ft. – the standards for the R-1 zoning category. A brick wall within a five foot buffer easement is required adjacent to the railroad right-of-way and appears on the Final DEVELOPMENT PLAN/PLAT.

Access: Thirteen lots will front Lake Doe Blvd. and have driveway access to this road. Lot 13 fronts Lake Doe Blvd. and will have a buffer tract and six foot high buffer wall along its side and rear yard line along Ralph Poe Drive. The remaining lots access internal streets that connect to Lake Doe Blvd. Removal of the cul-de-sac and extension of Ralph Poe Drive will allow potential future access to Marshall Lake Road. A future access to Marshall Lake Road will promote better emergency response times as well as promote the distribution of vehicle trips generated from Poe Reserve. Furthermore, the primary access to Poe Reserve occurs from Lake Doe Blvd., which crosses an active railroad track. If the road is blocked by railroad activity, then an access to Lake Marshall Road will allow an alternative route for residential of Poe Reserve as well as emergency response.

Stormwater: The stormwater management system includes an on-site retention area. A dry stormwater pond is located within Tract “D”. The design meets the City’s Land Development Code requirements.

Recreation: The developer is providing a 0.75 acre (37,662.8 sq. ft.) active tot lot (Tract “J”). Also being provided is a 0.18 acre (7,883.62 sq. ft.) passive park (Tract “B”). The equipment provided in Tract “J” consists of park benches, picnic tables and a tot lot structure.

Buffer/Tree Program: Buffers are provided consistent with the Land Development Code or as addressed within the Waiver Request. More trees will be planted than are proposed to be removed. A buffer wall and landscape tract is proposed adjacent to Lake Doe Blvd. north of Ralph Poe Drive, as well as along the northern perimeter of Lot 55. An entrance feature is proposed at the western end of Ralph Poe Drive. Regarding a brick wall along S.R. 429, DRC’s position is that a wall is not necessary and should be waived because the raised elevation of S.R. 429 and the expressway retention pond screen the highway from Poe Reserve. And as the highway elevation is higher than the subdivision, noise will be projected upward from future residential homes. See further explanation under waiver requests.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	8583
Total number of specimen trees:	20
Total inches removed:	4688
Total inches retained:	3233
Total specimen inches retained:	662
Total inches required:	4004
Total inches replaced:	955
Total inches post development:	4850

In addition to the 98 inches that will be replaced by new plantings within the park, open space, and around the retention pond. Each lot will have three trees and street trees will be planted every thirty-five feet.

WAIVER REQUEST: (The City Council, at its meeting on October 16, 2013, approved this waiver request as part of the Preliminary Development Plan.)

- 1.) Section 2.02.05.H.1 - Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. The applicant is requesting the City waive the requirement for a brick wall along S.R. 429 (now known as S.R. 451).

Staff Response and Information: Regarding a brick wall along S.R. 429 (S.R. 451), DRC’s position is that a wall is not necessary and should be waived because the raised elevation of S.R. 429 (S.R. 451) and the expressway retention pond screen the highway from Poe Reserve; and as the highway elevation is higher than the subdivision, noise will be projected upward from future residential homes. Additionally, fences installed within the rear yard of lots abutting S.R. 451 shall be uniform in color, height, and vinyl material. The CCR Document shall include this condition.

SCHOOL CAPACITY REPORT: A concurrency mitigation agreement has been submitted and is in the approval process. No development activity or clearing or grading can occur until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS).

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

CONDITIONS:

Several items are in the process of being resolved. Staff requests the following conditions be a part of the recommendation of approval:

1. There is a 10 foot Duke Energy easement along the northern property line. Per the February 26, 2014 letter from Duke Energy, the easement can be released. This release shall be recorded prior to recording of the plat.
2. The Developer has coordinated with Duke Energy and Bright House to provide sidewalk bars which will shorten the impact of the guide wires on several properties. The Plat will show a specific easement for the remaining length that will be located on Lots 8, 9, 11 and 12.

PUBLIC HEARING SCHEDULE:

April 8, 2014 - Planning Commission, 5:01 p.m.

May 7, 2014 - City Council, 1:30 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the POE RESERVE FINAL DEVELOPMENT PLAN/PLAT, subject to approval of the waiver of the brick wall requirement along S.R. 429, and subject to the findings of the staff report.

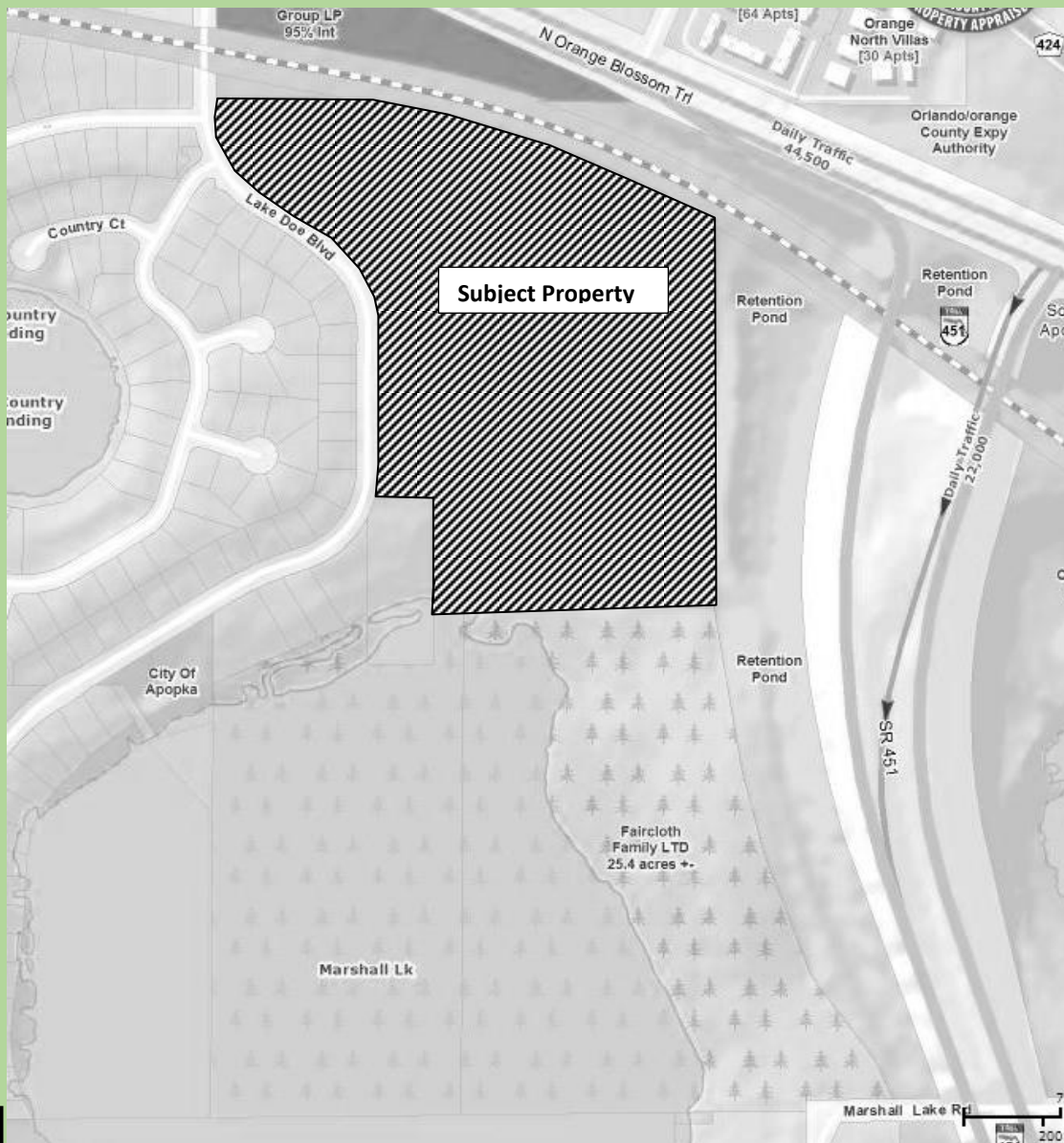
The **Planning Commission**, at its meeting on April 8, 2014, recommended approval (7-0) of the POE RESERVE FINAL DEVELOPMENT PLAN/PLAT, and request to waive the requirement of a wall along S.R. 451 (f.k.a. S.R. 429) due to the raised elevation of the highway and the screening provided by the Expressway retention pond from Poe Reserve subject to: (1) No development activity or clearing or grading can occur until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS); (2) fences installed within the rear yard of lots abutting S.R. 451 shall be uniform in color, height, and vinyl material and the Covenants, Codes, and Restrictions Document shall include this condition; (3) the execution and recording of the Duke Energy easement along the northern property line; (4) resolution of the Duke Energy guide wires extending into the front yards of 13 lots along Lake Doe Boulevard; and (5) the findings in the staff report.

Approve the POE RESERVE FINAL DEVELOPMENT PLAN/PLAT, and request to waive the requirement of a wall along S.R. 451 (f.k.a. S.R. 429) due to the raised elevation of the highway and the screening provided by the Expressway retention pond from Poe Reserve subject to: (1) No development activity or clearing or grading can occur until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS); (2) fences installed within the rear yard of lots abutting S.R. 451 shall be uniform in color, height, and vinyl material and the Covenants, Codes, and Restrictions Document shall include this condition; (3) the execution and recording of the Duke Energy easement along the northern property line; and (4) the findings in the staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Nancy Poe, c/o Floriday Properties, Inc.
June Engineering Consultants, Inc.
Poe Reserve Subdivision
26.90 +/- Acres
Proposed Development: 81 Single Family Units
Parcel ID #s: 05-21-28-0000-00-030; 08-21-28-0000-00-026;
08-21-28-0000-00-027; 08-21-28-0000-00-046

VICINITY MAP





MAR 27 2014

February 26, 2014

June Engineering Consultants, Inc.
Attn: Jimmy Dunn

RE: Acknowledgement of Easement Release – Orange County ORB(3931/2274)
Property: 315 Lake Doe Blvd., Apopka, FL. 32703
Work Request: neighborhood to-be “Poe Reserve”

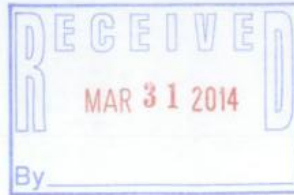
Dear Mr. Dunn,

After review of the property located at 315 Lake Doe Boulevard, Apopka, Duke Energy Florida, Inc. has determined your request for Release of Easement, located in Orange County Official Records Book 3931, Page 2274 and 2275, to be acceptable. Upon the granting of a Duke Energy Distribution Easement, for underground facilities to the neighborhood to-be-known as “Poe Reserve”, Duke Energy will work with you to Release the mentioned easement along the Northern portion of parcel ID’s, 05-21-28-0000-00-030 & 08-21-28-0000-00-026. Please be aware that the removal of the Overhead poles and wires, within this Easement Area, will be at the cost of the Requestor.

If you should have further questions or concerns, please contact me at 407-942-9727, or by email at Nicholas.Brana@Duke-Energy.com.

Sincerely,

Nick Brana
Land Rep, Land Services
Florida – Distribution ROW



FINAL DEVELOPMENT PLAN for Poe Reserve

DEVELOPMENT INFORMATION

Land Area	26,265 Acres (1,144,103.4 sf.)
Zoning	Single Family Residential Existing - R-1, R-3
Existing Land Use	Vacant
Proposed Land Use	Residential Low (0-5 du/ac)
Number of Proposed Lots	81
Proposed Density	3.08 units/acre
Maximum Height	35 ft (2 Stories)
Minimum Lot Area	8,000 sf
Minimum Living Area	2,100 sf
Minimum Lot Width	75 ft
Minimum Yard Setback:	
Front:	25 ft
(Front Entry Garages)	30 ft
Side:	10 ft
Side Corner:	25 ft
Rear:	20 ft
Wetland:	50 ft

Open Space:

Open Space Provided = 4.020 Ac. = 15,306sq

Tract A	3,978.29
Tract B	20,264.85
Tract C	21,182.90
Tract D	74,953.55
Tract E	10,617.54
Tract G	13,746.23
Tract H	759.21
Tract I	11,593.23
Tract J	18,023.30
	175,119.20

* Irregular Lots Front Yard Setback Distance is indicated at the Minimum Required Lot Width

Phasing	Four Phases
Projected Traffic:	840 Average Daily Traffic Trips
Schools	Elementary - Apopka Middle - Apopka High - Apopka

Sewer Flow	- 24,300 gal. per day
Water Flow	- 28,350 gal. per day (Fire flow per Sub. Regs.)
Stormwater	Provide Retention/Detention System on-site per Sub. Regs.

Existing Vegetation: Pasture

No fences, landscaping or other structures are allowed within drainage easements between lots with underground piping.

FEMA - Site lies partially within Flood Zone X, (areas outside of 500 Yr. flood plain), with portions lying within Zone AE for Marshall Lake, (areas of 100 Yr. flood plain), with a base elevation of 70.3. (NAVD88 datum) According to FIRM Map No. 12095C0120 F, Dated September 25, 2008.

Parcel ID Numbers: 08-21-28-0000-00-026
08-21-28-0000-00-027

Property Address: 315 & 397 Lake Doe Blvd.

DESCRIPTION:

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COAST LINE RAILROAD, ALSO.

THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COAST LINE RAILROAD AND EAST OF LAKE DOE BOULEVARD, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 13, PAGES 16 AND 17, PUBLIC RECORDS OR ORANGE COUNTY, FLORIDA.

LESS AND EXCEPT:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 1, COUNTRY LANDING, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGES 103-105, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N00°17'33"E ALONG THE EAST LINE OF LOT 1, 235.31 FEET TO THE NORTHEAST CORNER OF LOT 1 SAID CORNER LYING ON THE EASTERLY RIGHT OF WAY LINE OF LAKE DOE BOULEVARD, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 13, PAGES 16-17, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SAID RIGHT OF WAY LINE BEING A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST; THENCE FROM A RADIAL BEARING OF N62°41'43"W RUN NORTHEASTERLY ALONG SAID CURVE HAVING A CENTRAL ANGLE OF 19°36'06", A RADIUS OF 275.00 FEET, AN ARC LENGTH OF 94.08 FEET, A CHORD BEARING OF N17°30'14"E AND A CHORD DISTANCE OF 93.62 FEET TO A LINE 324.61 FEET NORTH OF, WHEN MEASURED PERPENDICULAR TO, THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF AFORESAID SECTION 8; THENCE DEPARTING SAID RIGHT OF WAY LINE RUN S89°58'25"E, 178.97 FEET TO A LINE 206.67 FEET EAST OF, WHEN MEASURED PERPENDICULAR TO, THE EAST LINE OF AFORESAID LOT 1; THENCE RUN S00°17'33"W, PARALLEL WITH SAID EAST LINE 324.61 FEET TO THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8; THENCE RUN N89°58'25"W ALONG SAID SOUTH LINE, 206.67 FEET TO THE SOUTHWEST CORNER OF AFORESAID LOT 1 AND THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 26.265 ACRES MORE OR LESS.



Location Map

OWNER:	NANCY POE 499 LAKE DOE BLVD. APOPKA, FL. 32703	(407) 880-1053
OWNER/ DEVELOPER:	FLORIDAY PROPERTIES, INC. ROHLAND A. JUNE, PRESIDENT P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
ENGINEER:	JUNE ENGINEERING CONSULTANTS, INC. P.O. BOX 770609 WINTER GARDEN, FL. 34777-0609	(407) 905-8180
SURVEYOR:	BISHMAN SURVEYING AND MAPPING, INC. 14 S. MAIN STREET, SUITE 200 WINTER GARDEN, FL. 34787	(407) 905-8877
GEOTECHNICAL ENGINEER:	UNIVERSAL ENGINEERING SCIENCES, INC. 2532 MAGGIE BLVD. ORLANDO, FL. 32811	(407) 423-0504
ENVIRONMENTAL CONSULTANT:	BIO-TECH CONSULTING, INC. 2002 E. ROBINSON STREET ORLANDO, FL. 32803	(407) 894-5969
UTILITIES	Water Sewer Telephone Electric Cable	City of Apopka City of Apopka Century Link Duke Energy Brighthouse Networks

Tract Information		
Tract	Use	Ownership & Maintenance
A	Landscape / Wall	Homeowners Association
B	Open Space - Passive Recreation	Homeowners Association
C	Conservation / Open Space	Homeowners Association
D	Stormwater Management	Homeowners Association
E	Upland Buffer	Homeowners Association
F	Lift Station	City of Apopka
G	Landscape / Wall	Homeowners Association
H	Landscape / Wall	Homeowners Association
I	Open Space	Homeowners Association
J	Park / Open Space	Homeowners Association
K	Stormwater Management	Homeowners Association
L	Stormwater Management	Homeowners Association

INDEX OF SHEETS	
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Typical Section	2
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Tree Removal Plan	3b-3c
Overall Drainage & Grading Plan	3d-3e
Overall Water System Plan	3f
Overall Reuse Water System	3f
Overall Sewer Plan	3g
SWPPP	3h
Signage Plan	3i
Wetland Inventory Plan	3j
Paving-Plan & Profile	4-7
Offsite Improvements	8
Stormwater Management Area	9
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Lift Station Details	11-12
General Utility Details	G1-G5
City General Notes Plan	S1
Landscape Plan	L1
Irrigation Plan	i1

General Notes:

- The front of all homes shall face the street. See Section 6.01.00.C.4 of the City Land Development Code.
- A minimum of 3 trees per lot is required per section 3.6 of the City's Development Design Guidelines.
- All power service to site and throughout the site shall be provided underground.
- Prior to clearing or grading the site, a letter from Florida Fish & Wildlife Commission shall be provided to the City of Apopka Planning & Zoning Department.
- Residents will not be allowed access to Lake Marshall.
- All phases shall be part of the same property owners association.
- All roadway and fire hydrant infrastructure must be in place before building construction begins.
- All home construction shall meet the intent of the development design guidelines. All models must be approved by the Community Development Department prior to issuance of a building permit.
- Plot recordation shall occur within sequential order unless otherwise approved by the city engineer.
- A minimum of 3 trees per lot is required per section 3.6 of the City's Development Design Guidelines.
- Entrance wall and perimeter buffer walls shall be uniform in material and color.
- All fences located within lots abutting S.R. 451 shall be uniform in height, material and color.

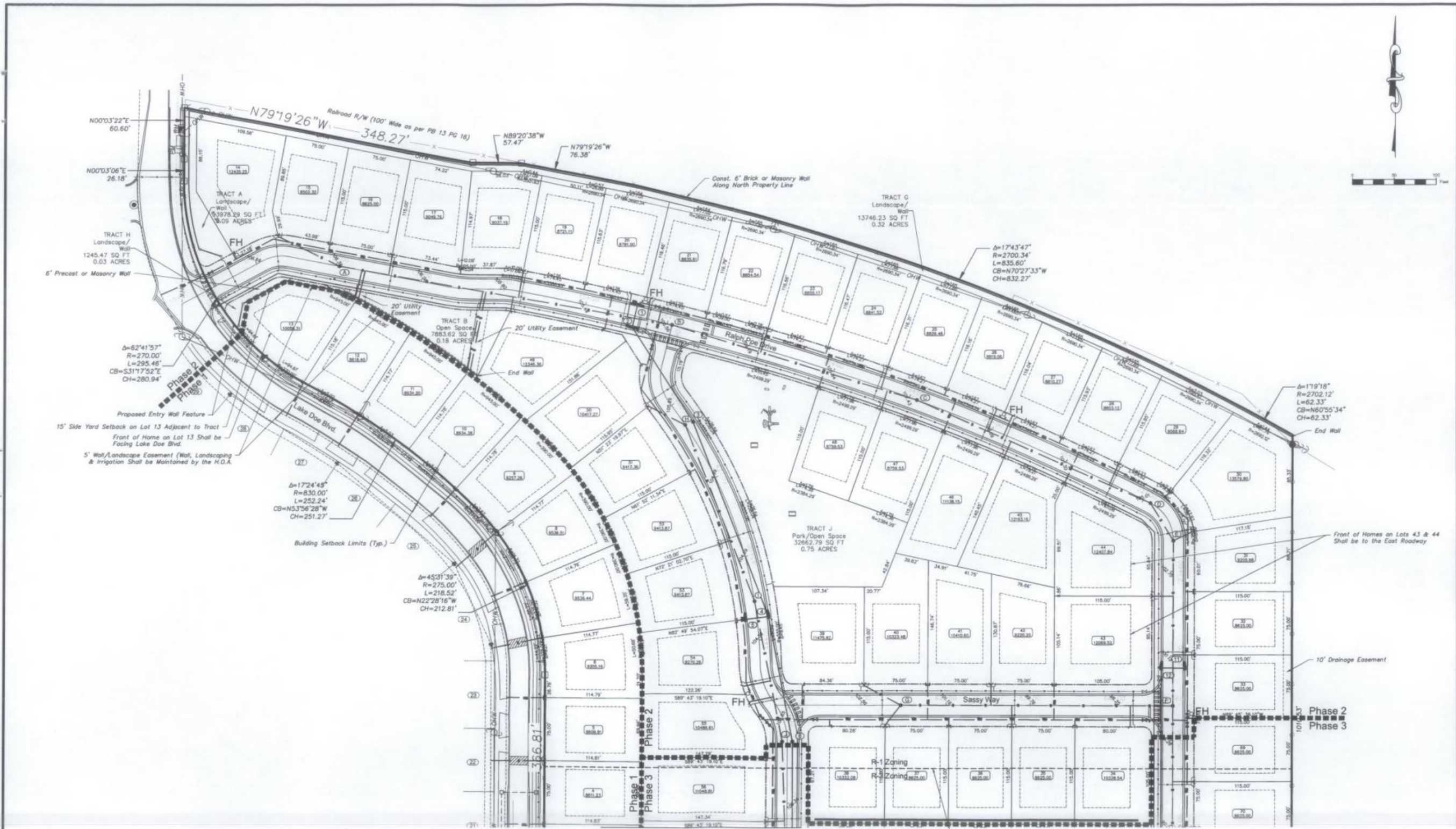
October 21, 2013
Revised February 25, 2014



14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

ROHLAND ALLEN JUNE I
PE# 41949



Match Line See Sheet 3

DATE	REVISION
3/24/14	City Comments

Overall Plan
Poe Reserve

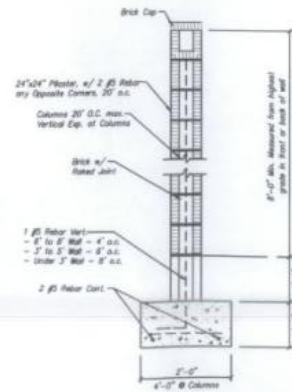
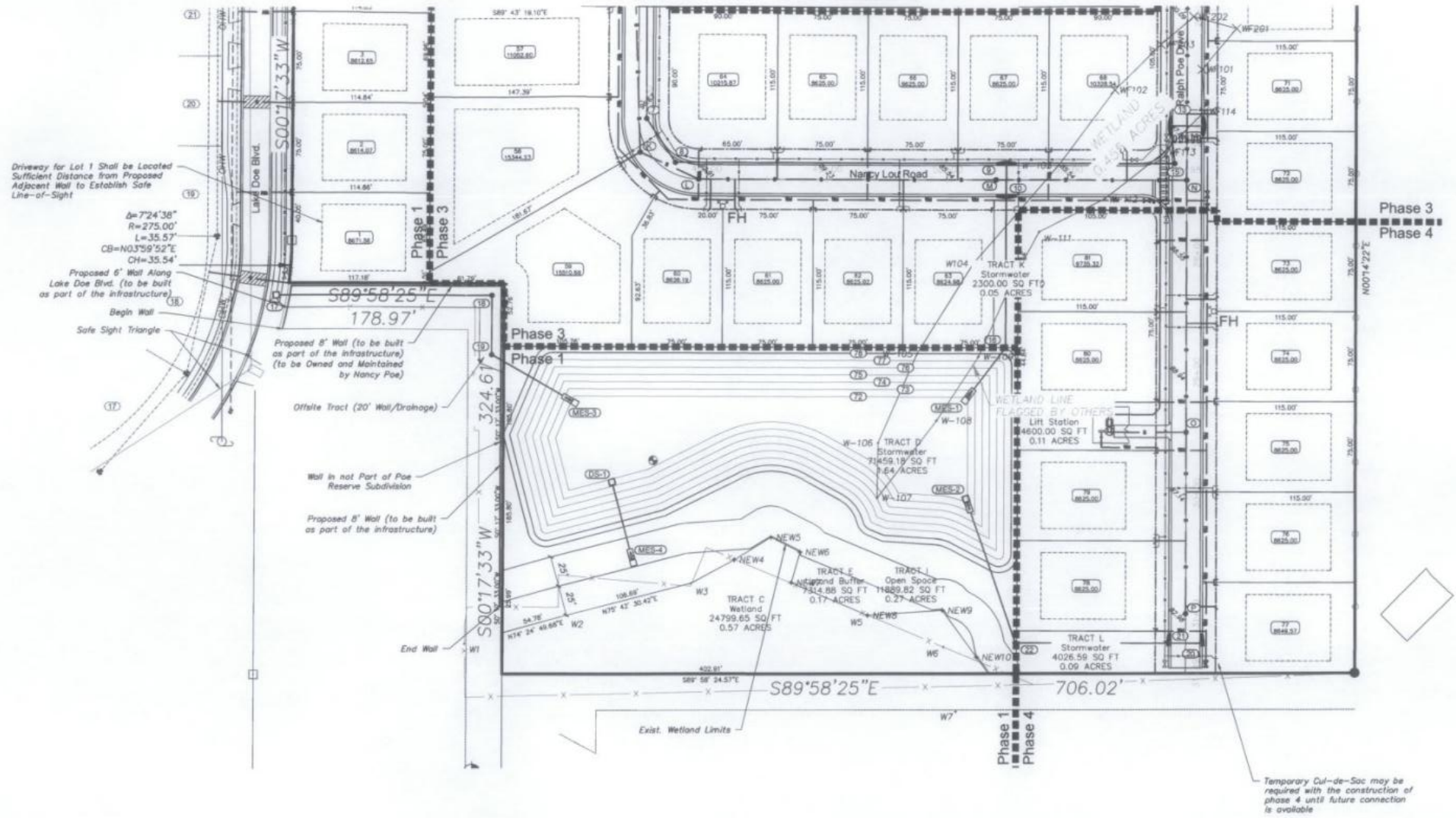
JEC June engineering consultants, inc.
 14 S. Main Street
 Winter Garden, FL 34787
 Ph: 407-905-8180
 Fax: 407-905-6232
 Certificate of Authorization #00008507

ROHLAND ALLEN JUNE II
 PE# 41940

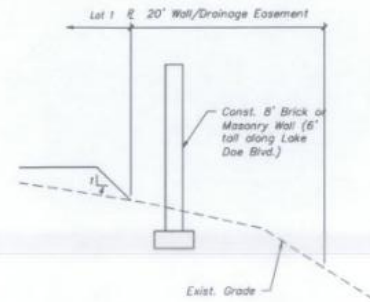
JOB NO.
13-0454
 SHEET
3
 OF 12



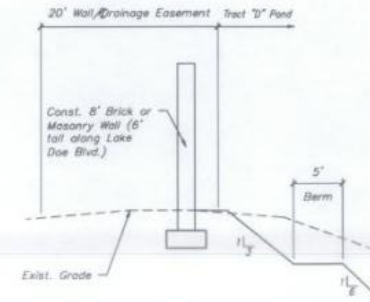
Match Line See Sheet 2



BRICK WALL DETAIL
RTS



TYPICAL WALL SECTION
RTS



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RTS

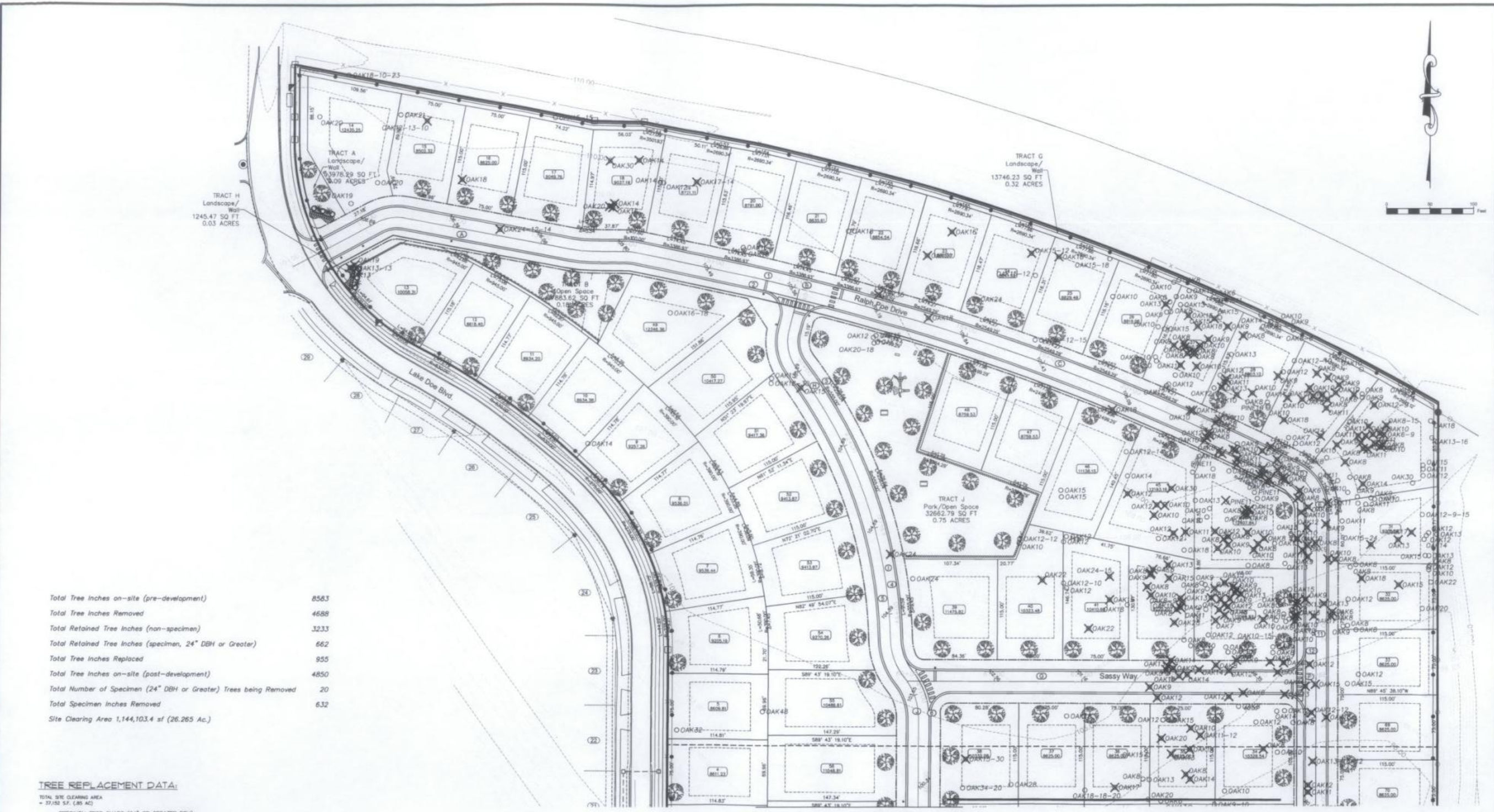
DATE	REVISION
3/24/14	City Comments

Overall Plan
Poe Reserve

JEC june engineering consultants, inc.
14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232
Certificate of Authorization #00008507
DRAWN BY: CLM CHECKED BY: RAJ SCALE: 1" = 50'
DATE: 8/1/13 DATE: 8/1/13

ROHLAND ALLEN, JUNE II
PE# 41949

JOB NO.
13-0454
SHEET
3a
OF 12



Total Tree Inches on-site (pre-development)	8563
Total Tree Inches Removed	4688
Total Retained Tree Inches (non-specimen)	3233
Total Retained Tree Inches (specimen, 24" DBH or Greater)	662
Total Tree Inches Replaced	955
Total Tree Inches on-site (post-development)	4850
Total Number of Specimen (24" DBH or Greater) Trees being Removed	20
Total Specimen Inches Removed	632
Site Clearing Area 1,144,103.4 sf (26.265 Ac.)	

TREE REPLACEMENT DATA:

TOTAL SITE CLEARING AREA
= 37,752 SF (85 AC)

SPECIMEN TREE CHART (24" OR GREATER DBH)

TOTAL NO.	TOTAL CALIPER	NO.	CALIPER	NO.	CALIPER
4	145"	4	15"	1	18"

NON-SPECIMEN TREE CHART (6" TO 23" DBH)
(EXCLUDES CHINABERRY, CAMPHOR AND WILD CHERRY TREES)

TOTAL NO.	TOTAL CALIPER	NO.	CALIPER	NO.	CALIPER
58	304"	59	138"	15	168"

TOTAL TREE STOCK REQUIREMENT:
SPECIMEN TREE STOCK FORMULA CAP: 75 INCHES DBH
(AT 1" REPLACEMENT FOR 1" REMOVED)
NON-SPECIMEN TREE STOCK FORMULA CAP: 138 INCHES DBH
(AT 1" REPLACEMENT FOR 1" REMOVED)
TOTAL MAXIMUM TREE REPLACEMENT: 213.0 INCHES DBH
PROPOSED REPLACEMENT INCHES: 36.5 INCHES DBH
REPLACEMENT DEFICIT INCHES: 176.5 INCHES DBH

NOTE: TREE REPLACEMENT DEFICIT = 176.5 INCHES. OWNER HEREBY COMMITS TO PAYMENT INTO THE CITY'S TREE BANK FUND FOR AMOUNT TOTALING \$1,765.00 @ \$10.00 PER INCH DEFICIT.
NOTE: THE LIMITS OF TREE CLEARING SHALL INCLUDE ONLY THOSE AREAS REQUIRED TO CONSTRUCT THE PROPOSED PAVED AREAS, BUILDINGS, UTILITIES AND RETENTION POND AS SHOWN. ALL OTHER TREES SHALL BE UNDISTURBED.
NOTE: TREE REMOVAL WORK SHALL REQUIRE REVIEW AND APPROVAL BY THE CITY THROUGH AN ARBOR PERMIT.

Match Line See Sheet 6

Legend

✕ To be Removed

○ Existing Tree

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

DATE	REVISION
3/24/14	City Comments

SIGNATURE _____ REG. NO. _____ DATE _____

Tree Removal Plan
Poe Reserve

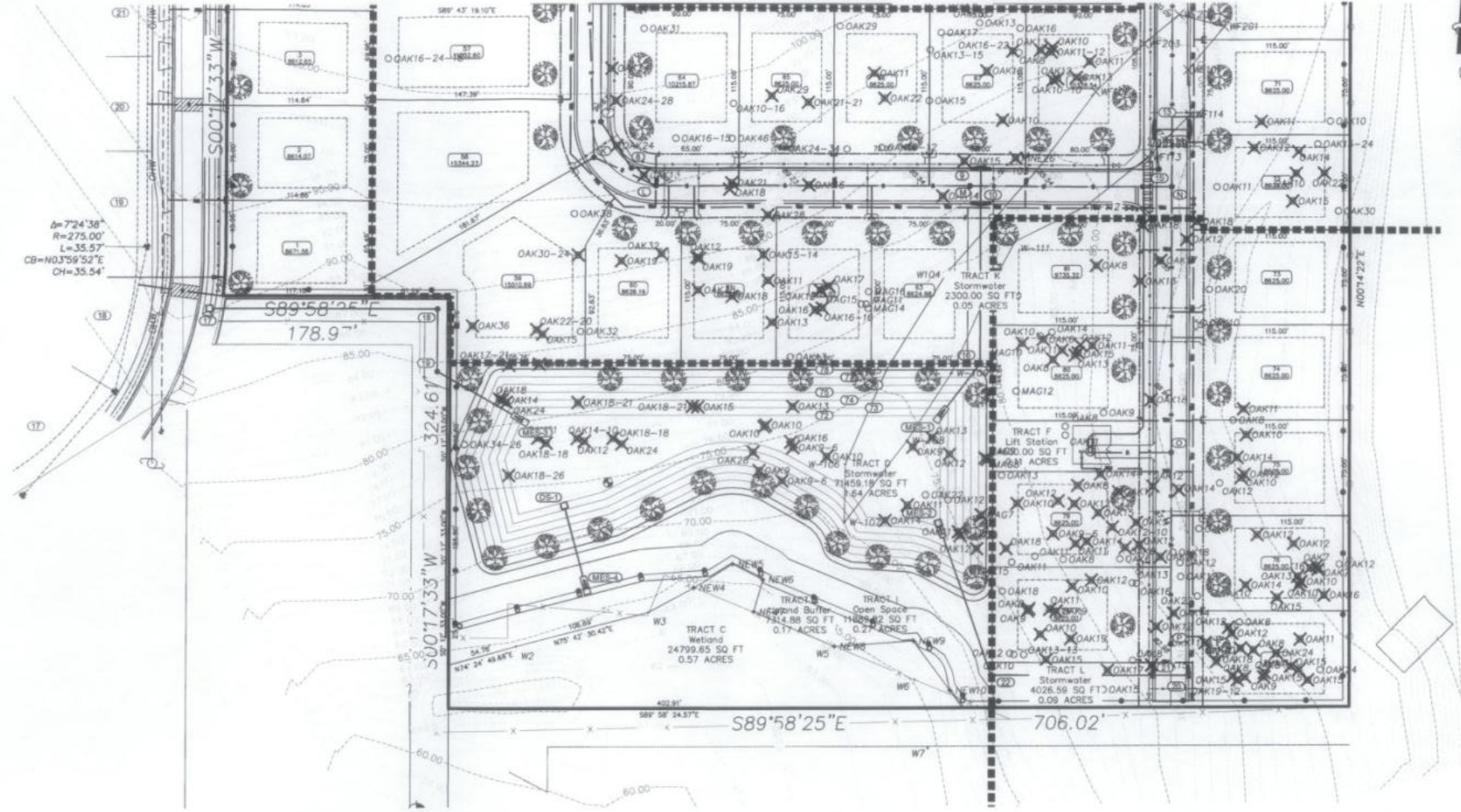
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Certificate of Authorization #00009507
DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 50'
DATE: 1/8/10 DATE: 1/8/10

ROHLAND ALLEN JUNE 8
PE# 41948

JOB NO. 13-0454
SHEET 3b OF 12

Match Line See Sheet 2



DATE	REVISION

Tree Removal Plan
Poe Reserve

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ROHLAND ALLEN JUNE
PE# 41949

JOB NO. 13-0454
SHEET 30 OF 12